

VERAMENDI GODDARD SCHOOL
CIVIL SITE CONSTRUCTION PLANS

The map shows the New Braunfels area with various roads and landmarks. The proposed site is located near the intersection of Oak Run Parkway and Oak Ridge. The map includes major roads like I-35, I-10, and I-49, and local roads like Oak Run Parkway and Oak Ridge. The site is located near the intersection of Oak Run Parkway and Oak Ridge. A north arrow is in the top right corner.

SCALE: N.T.S.

SITE TBM #1
SET SET COTTON SPINDLE
N: 13814157.6157
E: 2234291.1952
ELEV: 832.39'

SITE TBM #2
SET SET COTTON SPINDLE
N: 13813672.6760
E: 2234477.1595
ELEV: 828.36

BEING A 9.70 ACRE TRACT OF LAND SITUATED IN THE J.M. VERAMENDI SURVEY NO. 2, ABSTRACT NO. 3, COMAL COUNTY, TEXAS. BEING A PORTION OUT OF A CALLED 255.715 ACRE TRACT, RECORDED IN DOCUMENT NO. 201706013192, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

WATER
VERTICAL BENDS AND EDGE OF STEEL CASING (IF APPLICABLE)
HORIZONTAL BENDS PRIOR TO BACKFILL
TEES PRIOR TO BACKFILL
FITTINGS (REDUCERS AND COUPLINGS) PRIOR TO BACKFILL
FIRE HYDRANTS (TOP OF FLANGE)
VALVES
METERS (TOP CENTER OF BOX)
BLOW OFF ASSEMBLY
CORNER SLAB OF WATER TANK & GATE VALVE ON WATER TANK

ELECTRIC
POLES
TRANSFORMERS, BOTH ABOVE AND UNDERGROUND (FRONT LOCK)
PULL BOXES
STREET LIGHTS

1. IF CONSTRUCTION HAS NOT COMMENCED WITHIN ONE-YEAR OF CITY APPROVAL FOR CONSTRUCTION INSPECTION, THAT APPROVAL IS NO LONGER VALID.
2. THE MOST CURRENT EDITIONS OF THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL BE FOLLOWED FOR ALL CONSTRUCTION EXCEPT AS AMENDED BY THE CITY OF NEW BRAUNFELS STANDARD DETAILS.
3. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER IN RECORD.
4. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE CITY OF NEW BRAUNFELS TO SET A PRE-CONSTRUCTION MEETING. A 48-HOUR ADVANCED NOTIFICATION IS REQUIRED FOR ALL INSPECTION AND MEETING REQUESTS.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

6. DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.

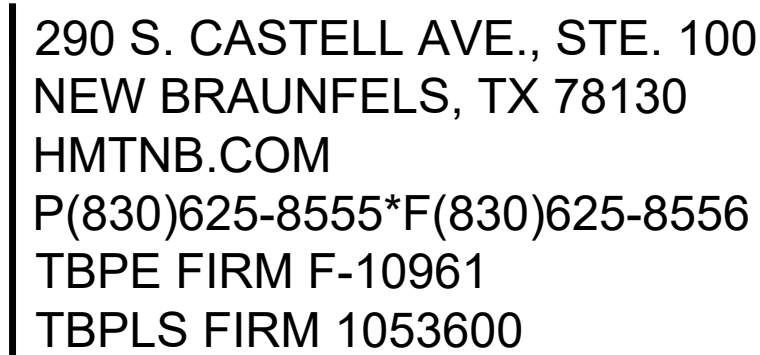
7. THIS DEVELOPMENT IS A TYPE 3 DEVELOPMENT.

8. NO PORTION OF THIS SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FIRM PANEL NUMBER 48091C0435f EFFECTIVE DATE SEPTEMBER 2, 2009, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

9. THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.

JULY 2020

Christopher P. Van Heerde
P.E. Registration No. 93047



BY THE ACT OF SUBMITTING A BID FOR THIS PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS' AND MATERIAL SUPPLIERS' KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITIES FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION.

CITY OF NEW BRAUNFELS GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL COMPLY WITH:

A. CURRENT CITY OF NEW BRAUNFELS CONSTRUCTION SPECIFICATIONS AND STANDARDS AS OF THE DATE OF THIS CONTRACT

B. THE MOST CURRENT EDITION OF TEXAS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES".

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT TEXAS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES," ALONG WITH CURRENT CITY OF NEW BRAUNFELS AND COMAL COUNTY SPECIFICATIONS. ANY DISCREPANCIES BETWEEN SPECIFICATIONS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES, AND TAXES AREA AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.

ANY EXISTING OFF-SITE IMPROVEMENTS THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE OWNER OF THE EXISTING IMPROVEMENT AT THE CONTRACTOR'S EXPENSE. (NO SEPARATE PAY ITEM)

WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A WORK ORDER OR CONSENT OF THE OWNER OR ENGINEER WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100YR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.

BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.

CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.

WHEN MATCHING EXISTING PAVEMENTS, CURBS, DRIVES, AND WALKS, THEY SHALL BE SAW CUT FULL DEPTH AND REMOVED TO ALLOW FOR PROPOSED CONSTRUCTION. IF ANY EXISTING JOINT IS ENCOUNTERED, PRECAUTION SHALL BE TAKEN DURING REMOVAL OF CONCRETE SO AS NOT TO DAMAGE EXISTING DOWELS. ALL EXISTING DOWELS SHALL BE EXPOSED AND CLEANED.

ITEM OF WORK DESIGNATED "BY OTHERS" SHALL NOT BE CONSIDERED PART OF THIS CONTRACT.

ALL "COMPACTED SUBGRADE" SHALL CONSIST OF NATIVE MATERIAL SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES AND COMPACTED TO 95% DENSITY ACCORDING TO DENSITY TEST METHOD TEX-115E OR ACCORDING TO ASTM D-698 AND TESTED BY ASTM D-2922.

ALL "FLEXIBLE BASE" SHALL BE TYPE "A", GRADE 4, ACCORDING TO TxDOT ITEM 247, COMPACTED TO 95% MODIFIED DENSITY AT A MOISTURE CONTENT BETWEEN -2 AND +3 OF OPTIMUM PERCENT MOISTURE ACCORDING TO ASTM D-1557 (MODIFIED PROCTOR) AND TESTED BY ASTM D-2922.

ASPHALT PAVEMENT SHALL BE THE TYPE SPECIFIED ON THE PLANS AND ACCORDING TO TxDOT ITEM 340 "HOT MIX ASPHALT CONCRETE PAVEMENT".

PRIME COAT USING MC-30 AT A RATE OF 0.2 GALLONS PER SQUARE YARD SHALL BE PLACED OVER PREPARED BASE AT LEAST ONE DAY PRIOR TO LAYING ASPHALTIC CONCRETE PAVEMENT. ANY NECESSARY TACK COAT SHALL BE MC-30 AT 0.05 GALLONS PER SQUARE YARD. IT IS REQUIRED THAT BOTH THE PRIME COAT AND THE TACK COAT BE APPLIED AT THE TEMPERATURE SPECIFIED UNDER TxDOT ITEM 300.3.

CONCRETE SHALL BE CLASS "A" ACCORDING TO TxDOT ITEM 421 UNLESS OTHERWISE ON PLANS.

REINFORCING STEEL SHALL BE FROM NEW BILLET AND SHALL CONFORM TO TxDOT ITEM 440. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS EXCEPT WHEN REFERRING TO CLEARANCE.

ALL SAWED JOINTS SHALL BE SAWED WITHIN 24 HOURS OF POURING,

ABSOLUTELY NO WELDING OF REINFORCING BARS OR TORCHING TO BEND REINFORCING BARS SHALL BE ALLOWED WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

ORDINARY COMPACTION CONTROL IS REQUIRED ON THIS PROJECT.

ALL ROLLING FOR COMPACTION OF ASPHALTIC CONCRETE PAVEMENT SHALL BE COMPLETED BEFORE THE MIXTURE TEMPERATURE DROPS BELOW 175 DEG. (F).

ALL FILL MATERIAL SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL.

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO THE NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS, OFFICES, DIRECTORS, OR CONSULTANTS, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.

ALL C.M.P. (CORRUGATED METAL PIPE) USED ON THIS PROJECT SHALL HAVE A MANNING'S "N" VALUE OF 0.024, UNLESS OTHERWISE SHOWN ON PLANS.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTING PER CURRENT CITY OF NEW BRAUNFELS REQUIREMENTS. ALL TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. ENGINEER AND OWNER RESERVE THE RIGHT TO HAVE THE CONTRACTOR REMOVE AND REPLACE ANY MATERIAL THAT WAS NOT TESTED OR FAILED TESTING. ALL COST ASSOCIATED WITH THE REMOVAL, REPLACEMENT AND TESTING SHALL BE PAID BY THE CONTRACTOR.

ALL PVC SLEEVES SHALL BE INSTALLED 3 FEET BELOW FINISHED GRADE AND ENDS SHALL BE MARKED SO THAT LOCATIONS OF SLEEVES CAN BE EASILY IDENTIFIED.

PRE-CONSTRUCTION CONFERENCE IS REQUIRED. ENGINEER WILL ARRANGE SUCH CONFERENCE IN COORDINATION WITH CITY OF NEW BRAUNFELS STREET INSPECTOR & NEW BRAUNFELS UTILITIES INSPECTOR. NO CONSTRUCTION MAY BEGIN PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.

CONTRACTOR SHALL COORDINATE WITH DRY UTILITY INSTALLERS AND SHARED TRENCHING SHALL BE UTILIZED, CUTTING THE STREETS AFTER COMPLETION BY DRY UTILITIES SHALL NOT BE ACCEPTABLE.

AS PER PLATTING ORDINANCE SECTION 118-38M.: WHEN ALL IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE CITY'S STANDARD PLANS AND PLANS OF "RECORD DRAWINGS" PLANS, AND A DIGITAL COPY OF ALL PLANS (AUTOCAD 2000 MINIMUM) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY OF NEW BRAUNFELS, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.

EROSION / SEDIMENTATION CONTROL

AT A MINIMUM, THESE CONTROLS SHALL CONSIST OF ROCK BERMS AND/OR SILT FENCES CONSTRUCTED PARALLEL TO AND DOWN GRADIENT FROM THE TRENCHES. THE ROCK BERM OR SILT FENCES SHALL BE INSTALLED IN A MANNER SUCH THAT ANY RAINFALL RUNOFF SHALL BE FILTERED. HAY BALES SHALL NOT BE USED FOR TEMPORARY EROSION AND SEDIMENTATION CONTROLS.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE CONTROLS WHEN VEGETATION IS ESTABLISHED AND THE CONSTRUCTION AREA IS STABILIZED {31 TAC 313.5 (C)(12)}. ADDITIONAL PROTECTION MAY BE REQUIRED IF EXCESSIVE SOLIDS ARE BEING DISCHARGED FROM THE SITE.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER/ENGINEER.

PLACEMENT OF TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION PLANS. ACTUAL LOCATIONS MAY VARY SLIGHTLY FROM THE PLANS, BUT WILL BE VERIFIED BY THE ENGINEER/INSPECTOR IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER EVERY SIGNIFICANT RAINFALL TO INSURE DISTURBANCE OF THE STRUCTURES HAS NOT OCCURRED. SEDIMENT DEPOSITED AFTER A RAINFALL SHALL BE REMOVED FROM THE SITE OR PLACED IN AN ENGINEER APPROVED DESIGNATED DISPOSAL AREA.

CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT NO EROSION CONTROL MEASURES BLOCK THE DRAINAGE SYSTEM FROM WORKING AS DESIGNED.

UTILITIES

LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION, INCLUDING THOSE NOT SHOWN ON THE DRAWINGS.

ANY EXISTING UTILITIES, ON OR OFF THE SITE, THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE RESPECTIVE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION AT:

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION

NEW BRAUNFELS UTILITIES (WATER AND SEWER) (830) 608-8971

NEW BRAUNFELS UTILITIES (ELECTRIC) (830) 608-8951

SPECTRUM CABLE (830) 625-3408

CENTERPOINT ENERGY (GAS) (830) 643-6434

AT&T (830) 303-1333

TEXAS ONE CALL SYSTEM (800) 245-4545

ENERGY TRANSFER (PETROLEUM PIPELINE) (210) 262-2486

CONTRACTOR SHALL REFERENCE NEW BRAUNFELS UTILITIES PLANS FOR FINAL ELECTRICAL LINE DESIGNS AND LAYOUT.

WASTEWATER NOTES

REVISED 3/31/11

1. THE CONTRACTOR SHALL MAINTAIN SERVICE TO EXISTING WASTEWATER SYSTEM AT ALL TIMES DURING CONSTRUCTION.
2. A MINIMUM OF 8" WASTEWATER PIPE AND FITTING (P.V.C. SDR-26, ASTM, D-3034, D-3212, F-477) ARE REQUIRED ON NEW INSTALLATION.
3. ALL RESIDENTIAL WASTEWATER SERVICE LATERALS SHALL BE EXTENDED TO THE PROPERTY LINE AND A CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE. SERVICES TO LOTS WILL EXTEND FOUR (4) FEET PAST THE UNDERGROUND ELECTRIC CONDUIT IF ELECTRIC IS INSTALLED IN THE FRONT EASEMENT.
4. PIPE BEDDING OF WASTEWATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SPECIFICATIONS.
5. SECONDARY BACKFILL OF WASTEWATER LINES SHALL GENERALLY CONSIST OF MATERIALS REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH, NO ROCKS OR STONES HAVING ANY DIMENSION LARGER THAN 6 INCHES AT THE LARGEST DIMENSION.
6. ALL WASTEWATER PIPES SHALL HAVE COMPRESSION OR MECHANICAL JOINTS AS PER 30 TAC §217.53 (C) (2).
7. FOR WASTEWATER LINES LESS THAN 24" IN DIAMETER, SELECT INITIAL BACKFILL MATERIAL SHALL BE PLACED IN TWO LIFTS.
 - a. THE FIRST LIFT SHALL BE SPREAD UNIFORMLY AND SIMULTANEOUSLY ON EACH SIDE AND UNDER THE SHOULDERS OF THE PIPE TO THE MID POINT OR SPRING LINE OF THE PIPE.
 - b. THE SECOND LIFT SHALL BE PLACED TO A DEPTH AS SHOWN ON THE PIPE BACKFILL DETAIL. FOR PIPES LARGER THAN 24", 12" MAXIMUM LIFTS SHALL BE USED.
8. ALL MANHOLES MUST BE WATER TIGHT; EITHER MONOLITHIC, CAST-IN-PLACE CONCRETE STRUCTURES OR PREFABRICATED MANHOLES SPECIFICALLY APPROVED BY NBU. THE MANHOLES SHALL HAVE WATER-TIGHT RINGS AND COVERS, WHEREVER THEY ARE WITHIN THE 100 YEAR FLOODPLAIN, THE MANHOLE COVERS SHALL BE BOLTED. EVERY THIRD MANHOLE IN SEQUENCE SHALL HAVE AN ALTERNATE MEANS OF VENTING. 30 TAC §213.5 (C)(3)(A) AND 30 TAC §217.55 (O).
9. ALL MANHOLES SHALL BE CONSTRUCTED SO THAT THE TOP OF THE RING IS TWO INCHES (2") ABOVE SURROUNDING GROUND EXCEPT WHEN LOCATED IN PAVED AREA. IN PAVED AREAS, THE MANHOLE RING SHALL BE FLUSH WITH PAVEMENT.
10. ALL NEW MANHOLES, UNLESS APPROVED BY NBU ENGINEERING, ARE TO HAVE COVERS WITH 32" OPENINGS.
11. WASTEWATER PIPE CONNECTIONS TO PRE-CAST MANHOLES WILL BE COMPRESSION JOINTS OR MECHANICAL "BOOT TYPE" JOINT AS APPROVED BY NBU.
12. WASTEWATER LINES SHALL BE REMOVED FROM MANHOLE TO MANHOLE.
13. IN AREAS WHERE A NEW WASTEWATER MANHOLE IS TO BE CONSTRUCTED OVER AN EXISTING WASTEWATER SYSTEM, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TEST THE EXISTING MANHOLES BEFORE CONSTRUCTION. AFTER THE PROPOSED MANHOLE(S) HAS BEEN BUILT, THE CONTRACTOR SHALL RE-TEST THE EXISTING SYSTEM TO THE SATISFACTION OF THE CONSTRUCTION INSPECTOR. (NO SEPARATE PAY ITEM).
14. WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH TCEQ. THE WASTEWATER LINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING THE ASTM SPECIFICATION FOR BOTH PIPES AND JOINTS OF 150 PSI AND SHALL BE IN ACCORDANCE WITH 30 TAC §217.53 (D) (3) (A) (I).
15. NO TESTING WILL BE PERFORMED PRIOR TO 30 DAYS FROM COMPLETE INSTALLATION OF THE WASTEWATER LINES. THE FOLLOWING SEQUENCE WILL BE STRICTLY ADHERED TO:
 - a. PULL MANHOLE
 - b. PERFORM AIR TEST
 - c. CLEANING OF ANY DEBRIS
 - d. FLUSHING OF SYSTEM
 - e. TV INSPECTION (WITHIN 72 HOURS OF FLUSHING)
16. A MINIMUM OF 3 FEET OF COVER IS TO BE MAINTAINED OVER THE WASTEWATER MAIN AND LATERALS AT SUBGRADE, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
17. WASTEWATER MAIN CONNECTIONS MADE DIRECTLY TO EXISTING MANHOLES WILL REQUIRE SUCCESSFUL TESTING OF THE MANHOLE IN ACCORDANCE WITH NBU CONNECTION & CONSTRUCTION POLICY MANUAL.
18. TCEQ AND EPA REQUIRE EROSION AND SEDIMENTATION CONTROL FOR CONSTRUCTION OF WASTEWATER COLLECTION SYSTEMS. DEVELOPER OR AUTHORIZED REPRESENTATIVE SHALL PROVIDE EROSION AND SEDIMENTATION CONTROL AS NOTED ON THE PROJECT'S PLAN AND PROFILE SHEETS. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY NBU WATER SYSTEMS.
19. ALL MANHOLES NOT WITHIN PAVED STREETS SHALL HAVE LOCKING CONCRETE COLLAR TO SECURE RING AND COVER TO MANHOLE CONE PER NBU DETAIL DRAWING #329.
20. ALL MANHOLES OVER THE EDWARDS AQUIFER RECHARGE ZONE SHALL HAVE LOCKING CONCRETE COLLAR TO SECURE RING AND COVER TO MANHOLE CONE PER NBU DETAIL DRAWING #329.

WATER NOTES

REVISED 5/16/19

1. ALL WATER MAINS SHALL BE AWWA C900 (CLASS 150 OR GREATER).
2. WATER SERVICES SHALL BE SINGLE 1" COPPER TUBING.
3. WATER LINE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
4. WATER MAIN SHALL HAVE A MINIMUM OF 42 INCHES OF COVER, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
5. EACH UNIT IN A DUPLEX, TRIPLEX, FOURPLEX, OR CONDOMINIUM SHALL BE PROVIDED WITH AN INDIVIDUAL WATER METER. A MASTER METER CAN BE CONSIDERED FOR SEPARATE BUILDINGS, HOWEVER, THOSE BUILDINGS MUST BE PLUMBED TO ALLOW SEPARATE METERS FOR FUTURE CONSIDERATION.
6. CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
7. INITIAL BACKFILL OF WATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
8. SECONDARY BACKFILL OF WATER LINES SHALL GENERALLY CONSIST OF MATERIAL REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH OR STONES HAVING ANY DIMENSION LARGER THAN 6 INCHES AT THE LARGEST DIMENSION.
9. HYDROSTATIC TESTING IS DONE FROM VALVE TO VALVE.
10. NO METER BOXES TO BE SET IN DRIVEWAYS OR SIDEWALKS, ANY METER BOXES SET IN DRIVEWAYS OR SIDEWALKS WILL BE RELOCATED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
11. METER BOXES MUST BE SET AT THE PROPOSED GRADE. ANY METER BOXES THAT ARE NOT SET AT THE FINAL GRADE WILL BE ADJUSTED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
12. ACCEPTABLE METER BOXES ARE D13-BAMR AND D15-BAMR. NEW RESIDENTIAL LOTS ARE REQUIRED TO USE THE D15-BAMR METER BOXES (DOUBLE AMR). COMMERCIAL LOTS SHOULD CHOOSE WHICH BOX APPLIES TO THE DOMESTIC AND/OR IRRIGATION METER LAYOUT.
13. THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO NBU AT THE TIME OF PLAN SUBMITTAL.
14. CONTRACTOR SHALL PLACE TRACER WIRE ON TOP OF THE WATER MAINS. TRACER WIRE SHOULD RUN FROM VALVE TO VALVE AND EXIT AT THE VALVE BOX. THE TRACER WIRE SHOULD BE ATTACHED TO THE TOP OF THE PIPE USING TAPE. EXCESS WIRE SHOULD BE LEFT WITHIN VALVE BOXES TO BE PLACED WITHIN LID OF COVER.
15. WATER QUALITY SHALL BE PROTECTED WITH APPROPRIATE BACKFLOW PREVENTION ASSEMBLIES INSTALLED ON ALL IRRIGATION SYSTEMS, FIRE SUPPRESSION SYSTEMS AND MULTI-UNIT COMPLEXES ALONG WITH MULTI-LEVEL PROPERTIES ON THE DOMESTIC METER CONTAINMENT. NBU CAN ASSIST WITH THE DECISION ON APPROPRIATE BACKFLOW ASSEMBLIES ON A CASE BY CASE BASIS. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM
16. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED UPON INSTALLATION AND REPORT SENT TO NBU VIA THE ONLINE TRACKING SYSTEM. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM
17. ALL RESIDENTIAL AND COMMERCIAL PROPERTIES SHALL HAVE A CUSTOMER SERVICE INSPECTION CERTIFICATE (CSI INSPECTION) COMPLETED UPON COMPLETION OF THE BUILDING OR HOME STRUCTURE. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
7. INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF BOX VEGETATION PRIOR TO COMPLETION
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
10. TPDES REQUIREMENTS - DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY WILL BEGIN AGAIN WITHIN 21 DAYS

GENERAL NBU NOTES

REVISED 3/31/11

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THE PROJECT SHALL BE APPROVED BY NEW BRAUNFELS UTILITIES AND COMPLY WITH THE CURRENT "NEW BRAUNFELS UTILITIES WATER SYSTEMS CONNECTION/CONSTRUCTION POLICY".
2. CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE PLANS FROM THE CONSULTANT OR ENGINEER AND NOTIFY NBU WATER SYSTEMS ENGINEERING AT 830-608-8971 WITH AT LEAST TWO (2) WORKING DAYS (48 NOTICE. WORK COMPLETED BY THE CONTRACTOR, WHICH HAS NOT RECEIVED A NOTICE TO PROCEED FROM NEW BRAUNFELS UTILITIES WATER SYSTEMS ENGINEERING WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.
3. THE DEVELOPER DEDICATES THE WATER / WASTEWATER MAINS UPON COMPLETION BY THE CONTRACTOR AND ACCEPTANCE BY THE NEW BRAUNFELS UTILITIES WATER SYSTEM. NBU WILL OWN AND MAINTAIN SAID WATER / WASTEWATER MAINS WHICH ARE LOCATED WITHIN PLATTED UTILITY EASEMENTS OR PUBLIC ROW OF PROPOSED DEVELOPMENTS. (AS APPLICABLE).
4. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS OFFICERS, DIRECTORS, OR CONSULTANTS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.
5. CONTRACTOR TO CONTACT THE ENGINEER-OF-RECORD (EOR) FOR ANY FIELD CHANGES, ANY REVISIONS OR CHANGES TO THE APPROVED CONSTRUCTION PLANS WILL REQUIRE ADDITIONAL APPROVAL BY NBU IN WRITING.
6. CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION, ANY DAMAGES DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES, AND EXISTING UTILITIES (NOT ADJUSTED ON PLANS). COST OF RESTORATIONS, IF ANY, SHALL BE THE CONTRACTOR'S ENTIRE EXPENSE.
8. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION.
9. CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES AND TAXES AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
10. NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS BUT NOT INCLUDED ON THE BID SCHEDULE. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED UNDER THE PAY ITEM TO WHICH IT RELATES.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PERMANENTLY PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.
12. THE CONTRACTOR SHALL NOT PLACE ANY MATERIALS ON THE RECHARGE ZONE OF THE EDWARDS AQUIFER WITHIN THE APPROVED WATER POLLUTION ABATEMENT PLAN FROM THE TCEQ 31 TAC 313.4 AND 31 TAC 313.9.
13. BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.
14. CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.
15. THE LOCATION OF UTILITIES, EITHER UNDERGROUND OR OVERHEAD, SHOWN WITHIN THE RIGHT OF WAY ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION OPERATIONS.
16. OSHA REGULATIONS PROHIBIT OPERATIONS THAT WILL BRING PERSONS OR EQUIPMENT WITHIN 10 FEET OF AN ENERGIZED LINE. WHERE WORKMEN AND/OR EQUIPMENT HAVE TO WORK CLOSE TO AN ENERGIZED ELECTRICAL LINE, THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL POWER COMPANY INVOLVED AND MAKE WHATEVER ADJUSTMENTS NECESSARY TO ENSURE THE SAFETY OF THOSE WORKMEN.
17. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION. CONTRACTORS SHALL CALL THE ONE CALL SYSTEM FOR WATER/WASTEWATER LOCATION.
18. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192 (8), GAS COMPANIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
19. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE TRAFFIC CONTROL AND WILL BE RESPONSIBLE FOR FURNISHING ALL TRAFFIC CONTROL DEVICES, AND FLAGGERS. THE CONSTRUCTION METHODS SHALL BE CONDUCTED TO PROVIDE THE LEAST POSSIBLE INTERFERENCE TO TRAFFIC SO AS TO PERMIT THE CONTINUOUS MOVEMENT OF THE TRAFFIC IN ONE DIRECTION AT ALL TIMES. THE CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE WORK AREA ANY LOOSE MATERIAL RESULTING FROM CONTRACT OPERATIONS AT THE END OF EACH WORKDAY.
20. PRIOR TO ORDERING MATERIALS TO BE USED IN CONSTRUCTION, CONTRACTOR SHALL PROVIDE THE ENGINEER WITH FOUR (4) COPIES OF THE SOURCE, TYPE, GRADATION, MATERIAL SPECIFICATION DATA AND / OR SHOP DRAWINGS, AS APPLICABLE, TO SATISFY THE REQUIREMENTS OF THE FOLLOWING ITEMS AND ALL MATERIAL ITEMS REFERRED TO IN THESE LISTED ITEMS:
 - A. WATER MAINS AND SERVICES
 - B. WASTEWATER MAINS AND SERVICES
21. THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO NBU AT THE TIME OF PLAN SUBMITTAL.
22. WATER JETTING THE BACKFILL WITHIN A STREET WILL NOT BE PERMITTED. WASTEWATER TRENCHES SUBJECT TO TRAFFIC SHALL CONFORM TO NBU CONNECTION AND CONSTRUCTION POLICY MANUAL.
23. WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH 30 TAC 217.
24. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
25. UTILITY TRENCH COMPACTION WITH STREET R.O.W.
- A. ALL UTILITY TRENCH COMPACTION TEST WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER.
- B. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE.
- C. EACH LAYER OF MATERIAL SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEXT METHODS TEX-113-E, TEX-114-E, TEX-115-E.
- D. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR.
- E. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CITY OF NEW BRAUNFELS CONSTRUCTION NOTES

REVISED 03/2020

IF CONSTRUCTION HAS NOT COMMENCED WITHIN ONE-YEAR OF CITY APPROVAL FOR CONSTRUCTION INSPECTION, THAT APPROVAL IS NO LONGER VALID.

THE MOST CURRENT EDITIONS OF THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL BE FOLLOWED FOR ALL CONSTRUCTION EXCEPT AS AMENDED BY THE CITY OF NEW BRAUNFELS STANDARD DETAILS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY OF NEW BRAUNFELS TO SCHEDULE A PRECONSTRUCTION MEETING.

FOR PUBLIC INFRASTRUCTURE PERMIT OR GRADING PERMIT PROJECTS:

FOR INSPECTIONS, YOU MUST CALL BEFORE 12:00 P.M., 48 HOURS PRIOR TO YOUR INSPECTION REQUEST.

EACH INSPECTION WILL BE ALLOTTED 1 HOUR UNLESS YOU REQUEST FOR MORE TIME.

ONCE YOUR REQUEST HAS BEEN ACCEPTED, YOU WILL RECEIVE A CALL FROM THE CITY OF NEW BRAUNFELS INSPECTOR.

FOR COMMERCIAL PERMIT (CP) PROJECTS:

ALL INSPECTIONS ARE TO BE CALLED IN AT 830-221-4068 OR,

FAXED IN AT 830-608-2117 OR,

E-MAILED AT INSPECTIONS@NBUTEXAS.ORG.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF, IN THE OPINION OF THE ENGINEERING REPRESENTATIVE AND THE CONSTRUCTION INSPECTOR, THE BARRICADES AND SIGNS DO NOT CONFORM TO ESTABLISHED STANDARDS OR ARE INCORRECTLY PLACED OR ARE INSUFFICIENT IN QUANTITY TO PROTECT THE GENERAL PUBLIC, THE CONSTRUCTION INSPECTOR SHALL HAVE THE OPTION TO STOP OPERATIONS UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

A TxDOT TYPE II B-B BULK REFLECTIVE RAISED PAVEMENT MARKER SHALL BE INSTALLED IN THE CENTER OF THE ROADWAY ADJACENT TO ALL FIRE HYDRANTS. IN LOCATIONS WHERE HYDRANTS ARE SITUATED ON CORNERS, BULK REFLECTIVE RAISED PAVEMENT MARKERS SHALL BE INSTALLED ON BOTH APPROACHES WHICH FRONT THE HYDRANT. THE RAISED PAVEMENT MARKER SHALL MEET TxDOT MATERIAL, EPOXY AND ADHESIVE SPECIFICATIONS.

GROUNDWATER

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS, BUILDERS, GEO-TECHNICAL ENGINEER, AND PROJECT ENGINEER TO IMMEDIATELY NOTIFY THE OFFICE OF THE CITY ENGINEER AND PROJECT ENGINEER IF THE PRESENCE OF GROUNDWATER WITHIN THE SITE IS EVIDENT. UPON NOTIFICATION THE PROJECT ENGINEER SHALL RESPOND WITH PLAN REVISIONS FOR THE MITIGATION OF THE GROUNDWATER ISSUE. THE CITY ENGINEER SHALL RESPOND WITHIN TWO (2) BUSINESS DAYS UPON RECEIPT OF THE MITIGATION PLAN. ALL CONSTRUCTION ACTIVITY, IMPACTED BY THE DISCOVERY OF GROUNDWATER, SHALL BE SUSPENDED UNTIL THE CITY ENGINEER GRANTS A WRITTEN APPROVAL OF THE GROUNDWATER MITIGATION PLAN.

RECORD DRAWINGS

AS PER PLATTING ORDINANCE SECTION 118-38M.: WHEN ALL OF THE IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE CITY'S STANDARDS, AND UPON RECEIPT OF ONE SET OF "RECORD DRAWING" PLANS, AND A DIGITAL COPY OF ALL PLANS (PDF COPY) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY OF NEW BRAUNFELS, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.

CONSTRUCTION NOTE

ENGINEER OF RECORD IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES AND STORMWATER CONTROL SUFFICIENT TO MITIGATE OFF SITE IMPACTS ARE IN PLACE AT ALL STAGES OF CONSTRUCTION.

DRAINAGE NOTE

DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE THE IMPACT OF CONSTRUCTION SHALL BE INSTALLED PRIOR TO ADDING IMPERVIOUS COVER.

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.

SOILS TESTING

PROCTORS SHALL BE SAMPLED FROM ON-SITE MATERIAL (ON-SITE IS DEFINED AS LIMITS OF CONSTRUCTION FOR THIS

-PLAN SET) AND A COPY OF THE PROCTOR RESULTS SHALL BE DELIVERED TO THE CITY OF NEW BRAUNFELS STREET INSPECTOR PRIOR TO ANY DENSITY TESTS.

ROADWAY

ALL ROADWAY COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FLEXIBLE BASE OR FILL/EMBANKMENT MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED EIGHT INCHES (8") LOOSE. THE REQUIRED DENSITY FOR THE FILL/EMBANKMENT MATERIAL SHALL MEET THE REQUIREMENTS OF TxDOT'S SPECIFICATION ITEM 132. THE REQUIRED DENSITY FOR THE FLEXIBLE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF TxDOT'S SPECIFICATION ITEM 247. EACH LAYER OF MATERIAL, INCLUSIVE OF SUBGRADE, SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200 LF FOR EACH LIFT. UPON COMPLETION OF TESTING, THE GEOTECHNICAL ENGINEER WILL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FLEXIBLE BASE, AND FILL MATERIAL, AND SUBGRADE, HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF NEW BRAUNFELS INSPECTOR.

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CITY OF NEW BRAUNFELS CONSTRUCTION NOTES

REVISED 01/2019

CURB CUT DUE TO CONSTRUCTION OF NEW RIGHT-OF-WAY CONSTRUCTION
(INDICATE THE 2 OPTIONS ON THE CONSTRUCTION PLANS).
1.SAWCUT EXISTING STREET AND MATCH TO NEW CONSTRUCTION.
2.SAWCUT EXISTING CURB TO TIE INTO EXISTING CONSTRUCTION.

CONSTRUCTION STABILIZED ENTRANCE
SAWCUT CURB FOR CONSTRUCTION ENTRANCE.

STABILIZED CONSTRUCTION AREA SHALL BE CONSTRUCTED OF 3"x5" ROCK TO BE PLACED A MINIMUM LENGTH OF 25'-FT. AND MAINTAINED SO THAT CONSTRUCTION DEBRIS DOES NOT FALL WITHIN THE CITY RIGHT-OF-WAY. RIGHT- OF-WAY MUST BE CLEARED FROM MUD, ROCKS, ETC. AT ALL TIMES.
(NOTES TO BE PLACED ON ALL WW PLAN & DETAIL SHEETS)
ENSURE ALL DRIVEWAY APPROACHES ARE BUILT IN GENERAL ACCORDANCE WITH A.D.A. SPECIFICATIONS. NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.

SIGNING AND PAVEMENT MARKING PLAN NOTES
THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY AND WARNING SIGNS, STREETS NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CITY WILL INSPECT ALL SIGNS AT FINAL INSPECTION.

THE CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKINGS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE INSTALLATION OF ALL SEALER AND FINAL MARKINGS. THE CITY WILL INSPECT ALL MARKINGS AT FINAL APPLICATION.

SEEDING AND ESTABLISHMENT OF VEGETATION WITHIN EARTHEN CHANNELS, STORMWATER BASINS AND DISTURBED AREAS
SEEDING FOR THE PURPOSE OF ESTABLISHING VEGETATION WITHIN CONSTRUCTED EARTHEN CHANNELS, BASINS AND DISTURBED AREAS SHALL BE CONDUCTED IN ACCORDANCE WITH ITEM 164 (SEEDING FOR EROSION CONTROL) OF TXDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS AND BRIDGES MANUAL. ONLY SEED TYPES AND MIXES SPECIFIED FOR THE SAN ANTONIO DISTRICT (DISTRICT 15) IN TABLES 1 AND 2 UNDER ITEM 164 SHALL BE UTILIZED. DURING THE COOL SEASON (SEPT 1-NOV 30), CEREAL RYE AND SEED SPECIES SPECIFIED FOR THE SAN ANTONIO DISTRICT IN TABLE 3 MAY BE USED. FOR COOL SEASON SEEDING APPLICATIONS, COOL SEASON SEED MIXES SHALL BE USED IN CONJUNCTION WITH SEED MIXES FOR THE SAN ANTONIO DISTRICT AS SPECIFIED IN TABLE 1 AND 2 UNDER ITEM 164.

IT MAY BE DEEMED NECESSARY TO INCORPORATE TOPSOIL AND SOIL AMENDMENTS (I.E. COMPOST/ FERTILIZER) INTO EXISTING SOIL IN ORDER TO FACILITATE VEGETATION GROWTH. TOPSOIL, COMPOST AND FERTILIZER ADDITIONS SHALL BE CONDUCTED ACCORDING TO ITEMS 160, 161 AND 166 OF TXDOT'S STANDARD SPECIFICATIONS MANUAL, RESPECTIVELY.

WATERING MAY ALSO BE NECESSARY TO FACILITATE AND EXPEDITE THE SPROUTING AND GROWTH OF VEGETATION. ITEM 168 OF TXDOT'S STANDARD SPECIFICATIONS MANUAL SHALL BE ADHERED TO FOR VEGETATIVE WATERING.

IF EXTENDED DROUGHT CONDITIONS EXIST THAT HINDER OR PROHIBIT THE GROWTH AND ESTABLISHMENT OF VEGETATION, THE CONTRACT/ DEVELOPER SHALL PROVIDE A PLAN TO THE CITY OF NEW BRAUNFELS DESCRIBING THE MEASURES THAT WILL BE TAKEN TO STABILIZE EARTHEN DRAINAGE INFRASTRUCTURE UNTIL A TIME WHEN GROWING CONDITIONS BECOME MORE FAVORABLE.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

**HMT**
ENGINEERING & SURVEYING


Christopher P. Van Heerde, P.E.

07/30/2020

GENERAL NOTES
(2 OF 2)

VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JULY 2020

DRAWN BY: JAD

DESIGNED BY: JMM

REVIEWED BY: CVH/SWH

HMT PROJECT NO.: 216.028

SHEET

C1.2

Drawing Name: N:_Projects\216 - Veramendi Goddard School\216.028_PLAT.dwg User: jphnn Jul 29, 2020 - 5:32pm

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PLAT NOTES:

- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. GRID DISTANCES SHOWN HEREON ARE BASED UPON SURFACE MEASUREMENTS. TO CONVERT SURFACE DISTANCES TO GRID, APPLY A COMBINED SCALE FACTOR OF 1.00014.
- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON PINS WITH PLASTIC CAP STAMPED "HMT" IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- THIS SUBDIVISION IS WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
- THIS SUBDIVISION IS WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE LIMITS OF THE CITY OF NEW BRAUNFELS, TEXAS.
- THIS SUBDIVISION IS WITHIN THE NEW BRAUNFELS INDEPENDENT SCHOOL DISTRICT.
- THIS PLAT IS SUBJECT TO THE REQUIREMENTS AND REGULATIONS OF THE WORD-BORCHERS RANCH JOINT VENTURE DEVELOPMENT AGREEMENT (VERAMENDI), RECORDED AS DOCUMENT NO. 20150829547, OFFICIAL PUBLIC RECORD, COMAL COUNTY, TEXAS AND AS AMENDED.
- THE ELEVATION OF THE LOWEST FLOOR OF A STRUCTURE SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SLOPE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
- THIS PLAT IS UNDER THE NEIGHBORHOOD CENTER PLANNING AREA.
- STANDARDS FOR PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARD A300 PLANTING AND TRANSPLANTING NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO BUILDING SHALL BE SITED WITHIN THE EXTENT OF A SENSITIVE FEATURE AND ASSOCIATED BUFFER, FOR ANY LOT WHICH CONTAINS A HIGH VALUE TREE, AND A BUILDING ENVELOPE WAS NOT APPROVED AS PART OF A FINAL PLAT. THE LOCATION OF A BUILDING ENVELOPE SHALL BE APPROVED BY THE PLANNING DIRECTOR PRIOR TO A BUILDING PERMIT BEING ISSUED.
- LOTS TO BE HELD IN COMMON PROPERTY BY A HOMEOWNERS' OR PROPERTY OWNERS' ASSOCIATION SHALL BE SHOWN IN THE PLAT AS A SEPARATE LOT.
- AMENDMENTS TO THE PARK PROGRAMMING SCHEDULE, INCLUDING BUT NOT LIMITED TO THE PROVISION OF ADDITIONAL IMPROVEMENTS OR SUBSTITUTING IMPROVEMENTS, SHALL BE ADMINISTRATIVELY APPROVED BY THE PARKS DIRECTOR.
- FUTURE PLATS WILL COMPLY WITH LOCATION AND AMENITY STANDARDS FOR TRAILS AS SHOWN IN THE SECTOR PLAN.
- TREE REPLACEMENT SHALL OCCUR WITHIN 12 MONTHS OF REMOVAL OF THE HIGH VALUE TREE, UNLESS DEFERRED TO AN ADJACENT UNIT, WHERE A REPLACEMENT TREE DOES NOT SURVIVE FOR A PERIOD OF AT LEAST 24 MONTHS. THE ORIGINAL APPLICANT OR CURRENT LANDOWNER SHALL REPLACE THE TREE, PREFERABLY DURING OCTOBER-FEBRUARY, UNTIL THE TREE SURVIVES A 12-MONTH PERIOD.
- SHOULD ANY TREE DESIGNATED FOR RETENTION IN AN APPROVED TREE PROTECTION PLAN DIE PRIOR TO, OR WITHIN 12 MONTHS OF THE COMPLETION OF CONSTRUCTION WORKS, THE APPLICANT SHALL REPLACE THE DEAD TREE WITH A REPLACEMENT TREE/S EQUAL TO THE TOTAL CALIPER INCHES OF THE DEAD TREE. NO GRADING, TREENCHING OR EQUIPMENT SHALL BE CONDUCTED IN THE AREA IDENTIFIED IN THE ROOT PROTECTION ZONE DURING CONSTRUCTION ONLY. ALL WORK TO BE PERFORMED BY HAND OR UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
- DURING CONSTRUCTION, THE CLEANING OF EQUIPMENT OR MATERIALS AND/OR THE DISPOSAL OF ANY WASTE MATERIAL, INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC., UNDER THE CANOPY OR DRIP LINE OF ANY HIGH VALUE TREE SHALL BE PROHIBITED. NO GRADING, TREENCHING OR EQUIPMENT SHALL BE CONDUCTED OR USED IN THE AREA IDENTIFIED IN THE ROOT PROTECTION ZONE. ALL WORK SHALL BE PERFORMED BY HAND OR UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY HIGH VALUE TREE.
- ROADS, FACILITIES, STRUCTURES AND IMPROVEMENTS SUCH AS SIDEWALKS, PATHS, TRAILS, TRAILHEADS, PARK IDENTIFICATION AND WAY FINDING SIGNAGE, SEATING, PICNIC TABLES, DRINKING FOUNTAINS, PET DRINKING FOUNTAINS, TRASH RECEPTACLES, PET WASTE RECEPTACLES, SHADE STRUCTURES, OUTLOOKS, RETAINING WALL, PUBLIC UTILITIES, STORMWATER MANAGEMENT FACILITIES, WATER QUALITY AND MEASURES AND SIGNAGE ARE PERMITTED WITHIN THE GREEN RIBBON. ALL OTHER DEVELOPMENT SHALL BE PROHIBITED WITHIN THE GREEN RIBBON.
- LOT 6 IS FOR WATER QUALITY, DRAINAGE, LANDSCAPING, UTILITY AND PEDESTRIAN ACCESS. THIS LOT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER, ITS SUCCESSORS AND ASSIGNS.

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED DOROTHY J. TAYLOR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

DOROTHY J. TAYLOR
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6295
290 S. CASTELL AVE., STE. 100, NEW BRAUNFELS, TEXAS 78130

PLAT REVISED NOVEMBER 4, 2019
PLAT REVISED SEPTEMBER 10, 2019
PLAT REVISED MAY 21, 2019
PLAT PREPARED MARCH 25, 2019



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600

FINAL PLAT ESTABLISHING
VERAMENDI PRECINCT 15A,
NEIGHBORHOOD CENTER

BEING A 9.70 ACRE TRACT OF LAND SITUATED IN THE J.M. VERAMENDI SURVEY
NO. 2, ABSTRACT NO. 3, COMAL COUNTY, TEXAS, BEING A PORTION OUT OF A
CALLED 255.715 ACRE TRACT, RECORDED IN DOCUMENT NO. 201706013192,
OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

NEW BRAUNFELS UTILITIES NOTES:

- MAINTENANCE OF DEDICATED UTILITY EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY USE OF AN EASEMENT, OR ANY PORTION OF IT, INCLUDING LANDSCAPING OR DRAINAGE FEATURES, IS SUBJECT TO AND SHALL NOT CONFLICT WITH THE TERMS AND CONDITIONS IN THE EASEMENT, MUST NOT ENDANGER OR INTERFERE WITH THE RIGHTS GRANTED BY THE EASEMENT TO NEW BRAUNFELS UTILITIES, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE SUBJECT TO APPLICABLE PERMIT REQUIREMENTS OF THE CITY OF NEW BRAUNFELS OR ANY OTHER GOVERNING BODY. THE PROPERTY OWNER MUST OBTAIN, IN ADVANCE, WRITTEN AGREEMENT WITH THE UTILITIES TO UTILIZE THE EASEMENT, OR ANY PART OF IT.
- UTILITIES WILL POSSESS A 5' WIDE SERVICE EASEMENT TO THE DWELLING ALONG THE SERVICE LINE TO THE SERVICE ENTRANCE. THIS EASEMENT WILL VARY DEPENDING UPON LOCATION OF DWELLING AND SERVICE.
- UTILITIES SHALL HAVE ACCESS TO THE METER LOCATIONS FROM THE FRONT YARD AND METER LOCATIONS SHALL NOT BE LOCATED WITHIN A FENCED AREA.
- EACH TRACT IS SUBJECT TO FLOATING GUY WIRE EASEMENT/S AND ITS DIMENSIONS SHALL BE DETERMINED BY THE NEED OF THE UTILITIES.
- DO NOT COMBINE ANY NEW UTILITY EASEMENTS (U.E.) WITH DRAINAGE EASEMENTS (D.E.) OR MAKE CHANGES IN GRADE WITHIN THE UTILITY EASEMENTS (U.E.) WITHOUT WRITTEN APPROVAL FROM NEW BRAUNFELS UTILITIES.
- NBU IS NOT RESPONSIBLE FOR DAMAGES TO PROPERTY IMPROVEMENTS (I.E. LANDSCAPING, TREES, PAVEMENT, SIGNS, DRAINAGE STRUCTURES, PRIVATE UTILITIES, ETC.) THAT ARE PLACED IN ANY TYPE OF UTILITY EASEMENT. TO ENSURE NO CONFLICT EXIST WITH UTILITY INFRASTRUCTURE IN THE EASEMENT, ALL SUCH IMPROVEMENTS PLACED IN ANY TYPE OF UTILITY EASEMENT MUST BE REVIEWED AND APPROVED THROUGH THE NEW EASEMENT ENCROACHMENT PROCESS. NBU DEVELOPMENT SERVICES FACILITES THE EASEMENT ENCROACHMENT APPLICATION PROCESS.

SIDEWALK/ACCESSWAYS NOTES:

- TEN (10) FOOT WIDE SHARED USE PATH WILL BE CONSTRUCTED BY THE DEVELOPER AT THE TIME OF BUILDING CONSTRUCTION CONTINGENT ONLY ON THE CITY'S APPROVAL OF CONSTRUCTION PLANS FOR ON-STREET PARKING IN THE SAME LOCATION ALONG:
A. GENEVA ST - LOTS 1-3, BLOCK 120
- SIX (6) FOOT WIDE SIDEWALK ARE EXISTING ALONG OAK RUN PARKWAY.
- FOUR (4) FOOT WIDE SIDEWALK WILL BE CONSTRUCTED BY THE DEVELOPER PER CITY STANDARDS AT THE TIME OF BUILDING CONSTRUCTION ALONG:
A. COWAN DR - LOT 1, BLOCK 120

FLOOD ZONE NOTE:

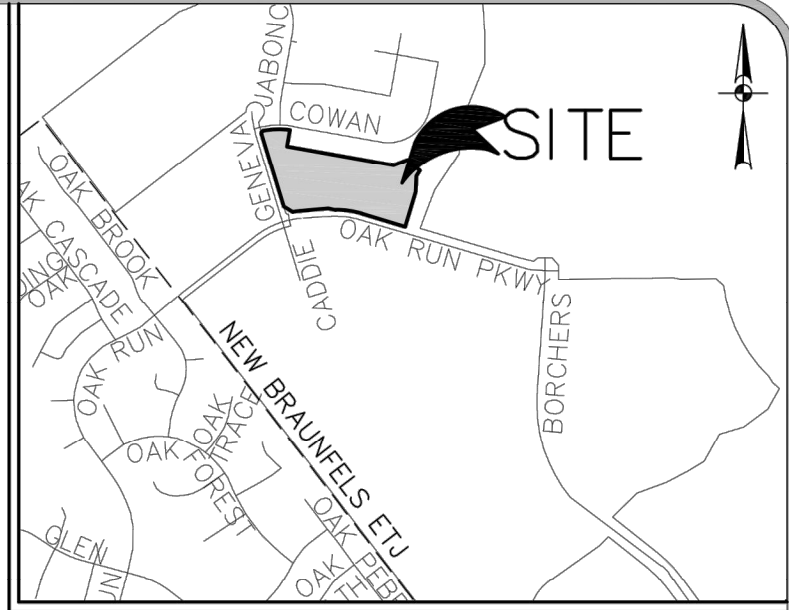
- NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FLOOD INSURANCE RATE MAP NUMBER 48091C0435F, EFFECTIVE DATE SEPTEMBER 2, 2009 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY PROVIDER NOTE:

THE PROPERTY WILL BE SERVED BY THE FOLLOWING:
NEW BRAUNFELS UTILITIES (WATER, SEWER, ELECTRIC)
AT&T (TELECOMMUNICATIONS)
SPECTRUM

DRAINAGE EASEMENT NOTES:

- DRAINAGE EASEMENTS SHALL "REMAIN FREE OF ALL OBSTRUCTIONS."
- MAINTENANCE OF DRAINAGE EASEMENT SHOWN OUTSIDE OF LOT LINES SHALL BE THE SOLE RESPONSIBILITY OF THE VERAMENDI DEVELOPMENT COMPANY.
- NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATION WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASE THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF NEW BRAUNFELS SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.



LOCATION MAP
NOT TO SCALE

APPROVED THIS THE _____ DAY OF _____, 20____,
BY THE PLANNING COMMISSION OF THE CITY OF NEW
BRAUNFELS, TEXAS.

CHAIRMAN _____

APPROVED FOR ACCEPTANCE

DATE PLANNING DIRECTOR

DATE CITY ENGINEER

DATE NEW BRAUNFELS UTILITIES

STATE OF TEXAS
COUNTY OF COMAL

I, _____ DO HEREBY CERTIFY THAT THE FOREGOING
INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS,
DOC# _____ OF COMAL COUNTY ON THE _____ DAY
OF _____, 20____, AT _____ M.

WITNESS MY HAND AND OFFICIAL SEAL, THIS THE _____ DAY OF
_____, 20____.

COUNTY CLERK, COMAL COUNTY, TEXAS

DEPUTY _____

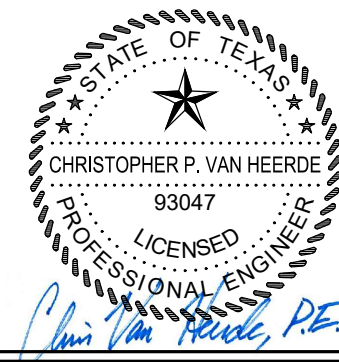
NOTARY PUBLIC, STATE OF TEXAS

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC, STATE OF TEXAS

MY COMMISSION EXPIRES: _____

SHEET 1 OF 3



07/30/2020

PLAT (1 OF 3)

VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

REVISION DATE	REVISION DESCRIPTION	NO.

DATE: JULY 2020

DRAWN BY: JAD

DESIGNED BY: JMM

REVIEWED BY: CVH/SWH

HMT PROJECT NO.:

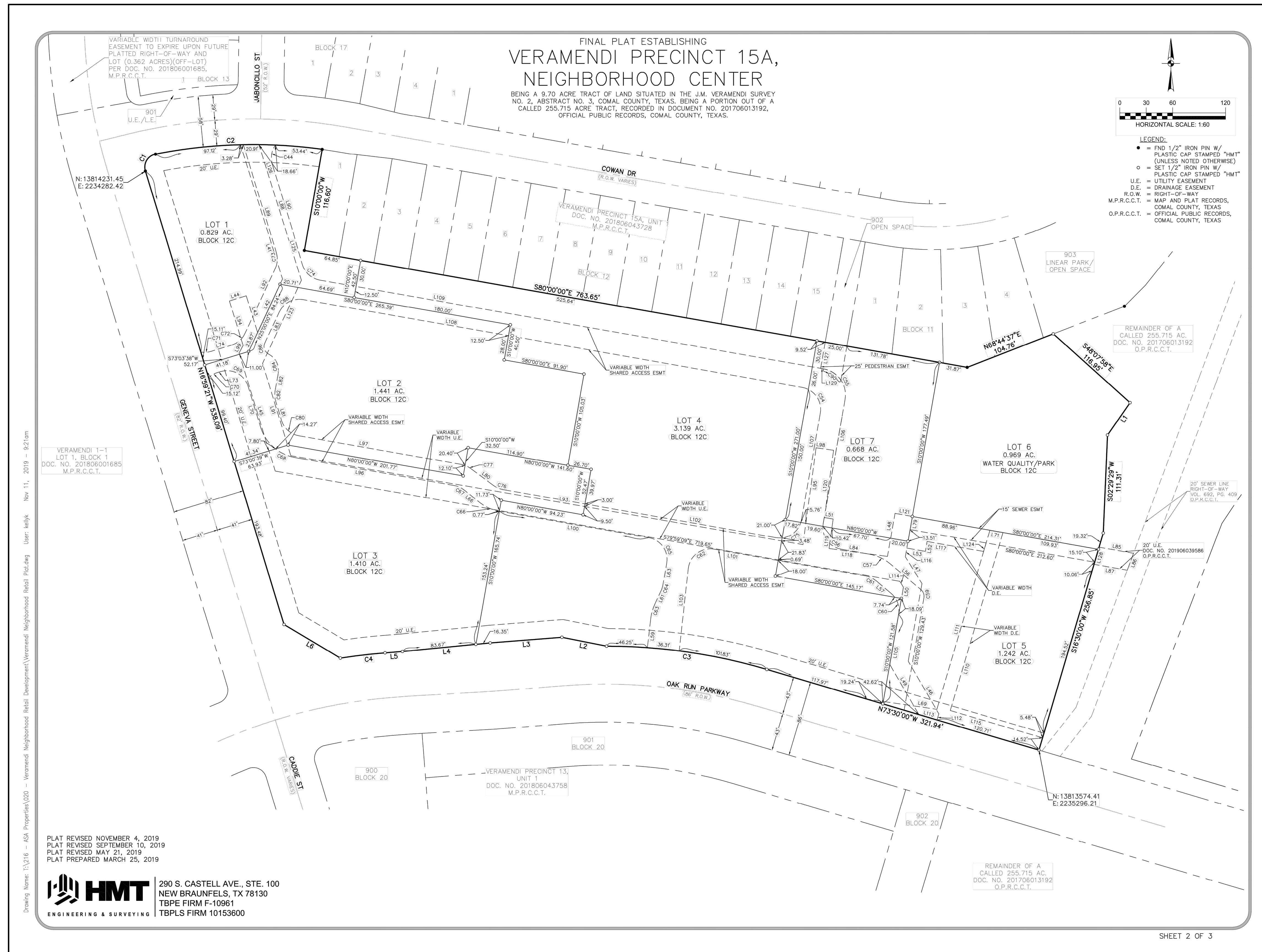
216.028

SHEET

C2.0

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

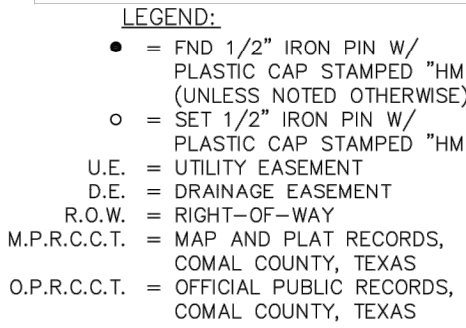




FOR REFERENCE ONLY

BEING A 9.70 ACRE TRACT OF LAND SITUATED IN THE J.M. VERAMENDI SURVEY
NO. 2, ABSTRACT NO. 3, COMAL COUNTY, TEXAS. BEING A PORTION OUT OF A
CALLED 255.715 ACRE TRACT, RECORDED IN DOCUMENT NO. 201706013192,
OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	44.70'	S34°52'35"W	L57	22.18'	S50°00'00"E	L89	128.17'	N16°59'21"W	L110	210.56'	S16°30'00"W
L2	51.64'	N78°43'05"W	L59	33.61'	S06°39'55"W	L90	69.00'	S16°59'21"E	L111	211.89'	N16°30'00"E
L3	81.66'	S84°30'00"W	L61	18.66'	S24°54'36"W	L91	109.18'	N17°06'17"W	L112	7.32'	N16°29'58"E
L4	100.02'	S85°21'15"W	L63	25.00'	S10°00'00"W	L92	81.49'	N25°00'00"E	L113	21.40'	S73°30'00"E
L5	19.88'	S85°30'00"W	L66	23.46'	S50°48'07"E	L93	589.80'	N80°07'49"W	L114	7.71'	S31°46'27"E
L6	74.50'	N59°08'34"W	L69	80.58'	S81°41'34"E	L94	53.01'	S17°06'17"E	L115	109.22'	S73°30'00"E
L41	159.62'	S17°23'10"E	L70	49.41'	S16°59'22"E	L95	110.92'	S02°42'02"W	L116	17.74'	N10°00'00"W
L42	66.98'	S25°00'00"W	L71	15.09'	S80°00'00"E	L96	176.09'	S80°00'00"E	L117	65.11'	S80°00'00"E
L43	43.63'	N17°06'17"W	L73	4.02'	N73°03'38"E	L97	187.18'	N80°00'00"E	L118	66.80'	N82°17'58"W
L44	20.00'	S72°53'43"W	L74	24.37'	N73°03'38"E	L98	20.00'	N82°17'58"W	L119	33.62'	N07°42'02"E
L45	139.78'	S17°04'11"E	L79	28.51'	S10°00'00"W	L99	9.90'	S27°53'43"W	L120	77.27'	N07°42'02"E
L46	68.82'	N30°13'17"W	L80	32.50'	N53°16'03"W	L100	172.52'	S80°00'00"E	L121	20.00'	N80°00'00"W
L47	35.84'	N31°46'27"W	L81	23.59'	N16°59'23"W	L101	174.94'	S80°00'00"E	L122	104.32'	N07°42'02"E
L48	49.43'	S10°00'00"W	L82	20.56'	N09°57'34"E	L102	314.55'	N80°00'01"W	L124	10.06'	N16°30'00"E
L49	65.58'	S30°13'17"E	L83	38.74'	N25°00'00"E	L103	94.14'	N06°16'59"E	L125	45.35'	S16°02'39"E
L50	89.23'	S10°00'00"W	L84	32.96'	S80°00'00"E	L105	103.49'	S10°00'00"W	L126	4.48'	S16°59'21"E
L51	10.01'	N80°00'00"W	L85	39.69'	N80°00'00"W	L106	143.00'	N80°00'00"W	L127	30.00'	S10°00'00"W
L52	11.34'	N10°00'00"E	L86	20.34'	N20°28'24"E	L107	123.00'	S10°00'00"W	L128	20.13'	N16°30'00"E
L53	21.33'	S80°00'00"E	L87	38.27'	S80°00'00"E	L108	575.25'	S80°00'01"E	L129	3.48'	S80°00'01"E
L56	45.27'	S50°00'00"E	L88	161.27'	N17°23'10"W	L109	580.59'	S80°00'01"E			



CURVE TABLE							CURVE TABLE							CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.08'	15.00'	095°46'46"	16.59'	22.26'	N30°54'02"E	C65	39.27'	25.00'	090°00'00"	25.00'	35.36'	S35°00'00"E	C84	25.44'	20.00'	072°53'39"	14.77'	23.76'	N26°26'49"W
C2	190.13'	571.00'	019°04'42"	95.95'	189.25'	N86°19'46"E	C66	23.33'	50.00'	026°43'57"	11.88'	23.12'	S66°38'02"E	C86	15.34'	10.00'	087°53'41"	9.64'	13.88'	N18°56'48"W
C3	184.39'	643.00'	016°25'00"	92.83'	183.76'	N81°42'55"W	C67	12.74'	25.00'	029°11'53"	6.51'	12.60'	S65°24'03"E	C88	32.72'	25.00'	075°00'00"	19.18'	30.44'	N62°36'00"E
C4	51.04'	653.00'	004°28'43"	25.53'	51.03'	S83°15'38"W	C68	53.76'	50.09'	061°29'42"	29.80'	51.22'	S49°12'03"E	C90	24.00'	30.00'	045°49'44"	12.68'	23.36'	N57°05'09"W
C44	22.65'	25.00'	051°54'04"	12.17'	21.88'	S08°57'41"W	C69	39.25'	25.00'	089°57'00"	24.98'	35.34'	S61°57'52"E							
C54	39.27'	25.00'	090°00'00"	25.00'	35.36'	S35°00'00"E	C70	11.38'	24.99'	026°04'43"	5.79'	11.28'	S59°38'53"W							
C55	47.12'	30.00'	090°00'00"	30.00'	42.43'	S35°00'00"E	C71	11.57'	24.93'	026°34'46"	5.89'	11.46'	S86°12'39"W							
C56	39.27'	25.00'	090°00'00"	25.00'	35.36'	S35°00'00"E	C72	20.95'	25.00'	048°00'39"	11.13'	20.34'	N49°00'20"E							
C57	26.18'	50.00'	030°00'00"	13.40'	25.88'	S65°00'00"E	C73	18.32'	25.00'	041°59'21"	9.59'	17.91'	N04°00'19"E							
C59	10.47'	10.00'	060°00'00"	5.77'	10.00'	S20°00'00"E	C74	27.91'	25.00'	063°57'21"	15.61'	26.48'	S48°01'20"E							
C60	26.18'	25.01'	059°58'23"	14.43'	25.00'	S20°00'27"E	C75	39.27'	25.00'	090°00'00"	25.00'	35.36'	S55°00'00"W							
C61	13.09'	50.00'	030°00'00"	6.70'	12.94'	S65°00'00"E	C76	11.66'	25.00'	026°43'57"	5.94'	11.56'	N66°38'02"W							
C62	40.89'	25.00'	093°43'01"	26.68'	36.48'	N53°08'29"E	C77	11.66'	25.00'	026°43'57"	5.94'	11.56'	N66°38'02"W							
C63	16.48'	50.43'	018°43'01"	8.31'	16.40'	S19°33'34"W	C80	26.65'	25.09'	060°52'09"	14.74'	25.42'	N49°29'32"W							
C64	5.33'	25.00'	012°13'33"	2.68'	5.32'	S16°06'47"W	C82	11.76'	25.00'	026°56'57"	5.99'	11.65'	N03°30'54"W							

PLAT REVISED NOVEMBER 4, 2019
PLAT REVISED SEPTEMBER 10, 2019
PLAT REVISED MAY 21, 2019
PLAT PREPARED MARCH 25, 2019

 **HMT**
ENGINEERING & SURVEYING

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600

SEQUENCE OF CONSTRUCTION

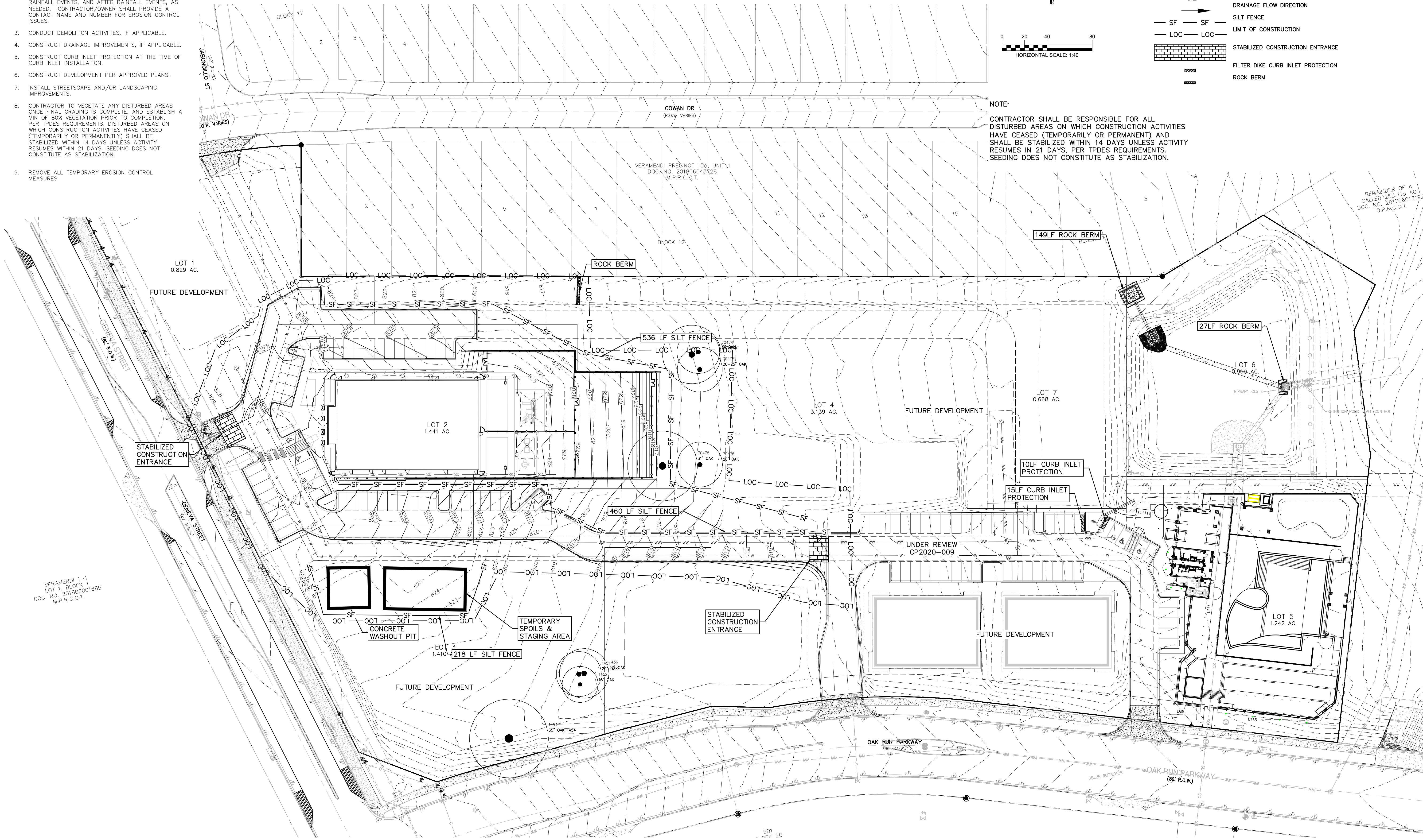
1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
7. INSTALL STREETSCAPE AND/OR LANDSCAPING IMPROVEMENTS.
8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN. OF 80% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 21 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

LEGEND

- 700 EXISTING CONTOURS (FROM MASS GRADING, UNDER CONSTRUCTION)
- 700 PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- DRAINAGE FLOW DIRECTION
- SF SILT FENCE
- LOC LIMIT OF CONSTRUCTION
- STABILIZED CONSTRUCTION ENTRANCE
- FILTER DIKE CURB INLET PROTECTION
- ROCK BERM

NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



07/30/2020

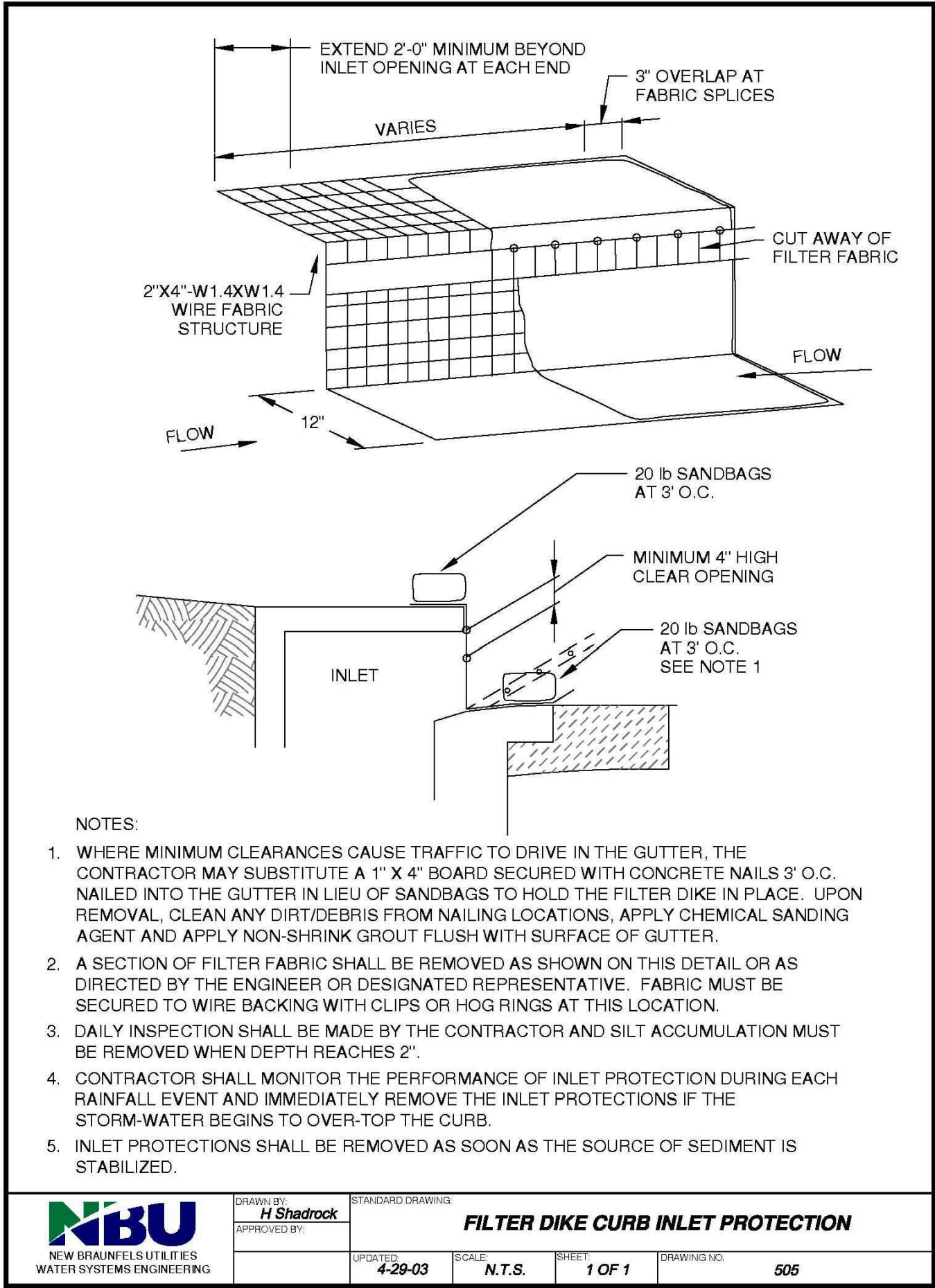
EROSION CONTROL PLAN
VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

NO.	REVISION	DESCRIPTION	DATE

DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH
HMT PROJECT NO.:
216.028

SHEET
C3.0

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



CONCRETE WASHOUT AREAS

THE PURPOSE OF CONCRETE WASHOUT AREAS IS TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFFSITE, PERFORMING ONSITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

THE FOLLOWING STEPS WILL HELP REDUCE STORMWATER POLLUTION FROM CONCRETE WASTES:

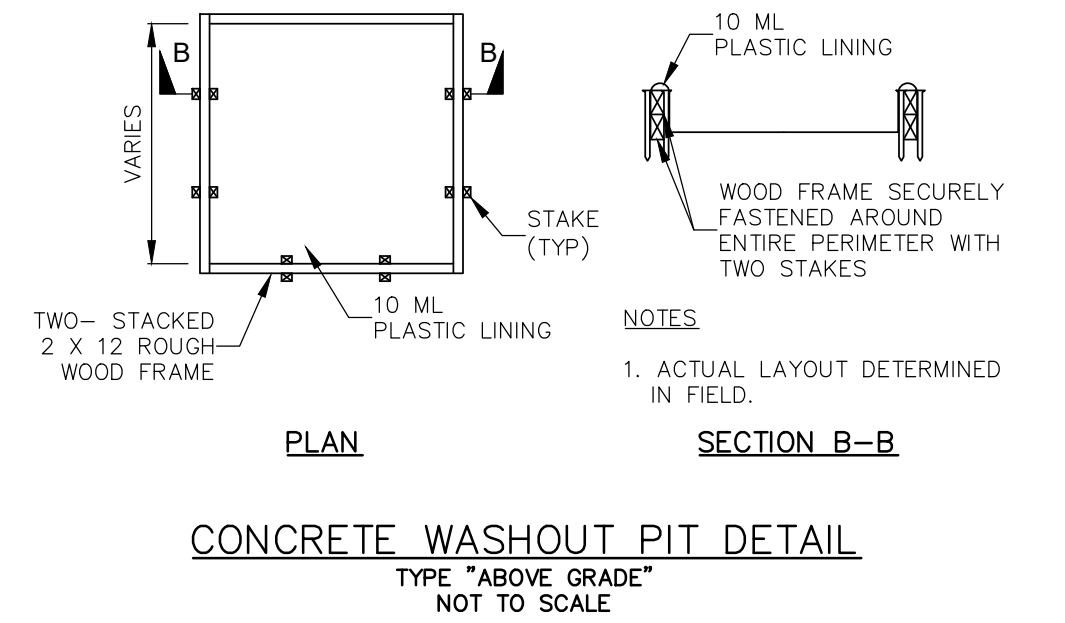
- INCORPORATE REQUIREMENTS FOR CONCRETE WASTE MANAGEMENT INTO MATERIAL SUPPLIER AND SUBCONTRACTOR AGREEMENTS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE.
- PERFORM WASHOUT OF CONCRETE TRUCKS IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ONSITE, EXCEPT IN DESIGNATED AREAS.

FOR ONSITE WASHOUT:

- LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
- WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY.

BELOW GRADE CONCRETE WASHOUT FACILITIES ARE TYPICAL. THESE CONSIST OF A LINED EXCAVATION SUFFICIENTLY LARGE TO HOLD EXPECTED VOLUME OF WASHOUT MATERIAL. ABOVE GRADE FACILITIES ARE USED IF EXCAVATION IS NOT PRACTICAL. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE) SHOULD BE CONSTRUCTED AS SHOWN ON THE DETAILS AT THE END OF THIS SECTION, WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 ML IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.



SILT FENCE

MATERIALS:

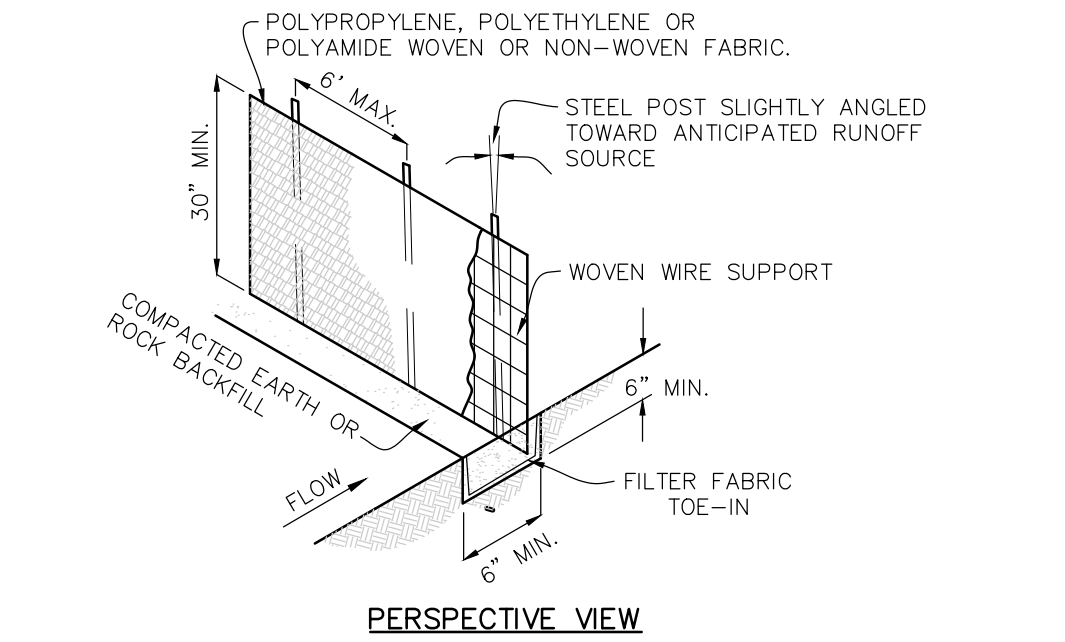
- SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC WIDTH SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN², ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NO. 30.
- FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR YBAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM NOMINAL WEIGHT 1.25 LB/FT², AND BRINDELL HARDNESS EXCEEDING 140.
- WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12 GAUGE MINIMUM.

INSTALLATION:

- STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 1- FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER, WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET.
- LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.
- THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW, WHERE FENCE CANNOT BE TRENCHED IN (E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

INSPECTION AND MAINTENANCE GUIDELINES:

- INSPECT ALL FENCING WEEKLY, AND AFTER ANY RAINFALL.
- REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES.
- REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.
- REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS.
- WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL.



SILT FENCE DETAIL
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE / EXIT

MATERIALS:

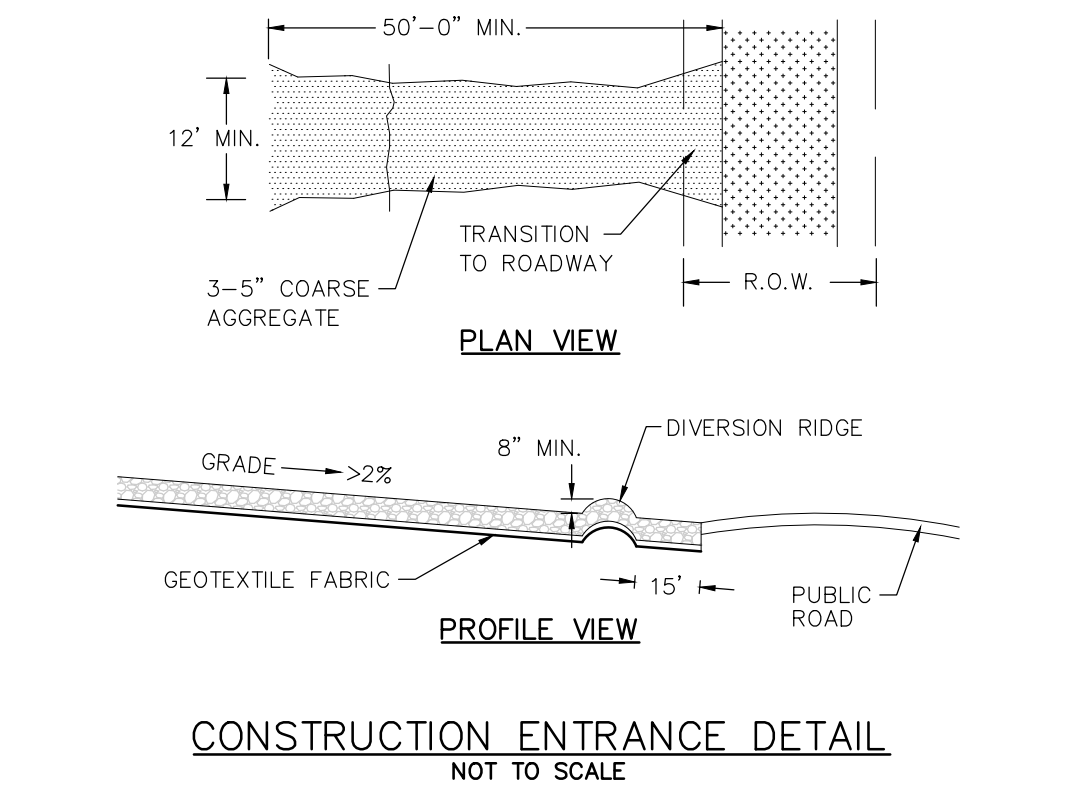
- THE AGGREGATE SHOULD CONSIST OF 3 TO 5 INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.
- THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8 INCHES.
- THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 6 OZ/YD², A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
- IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4 INCH DIAMETER WASHED STONE OR COMMERCIAL RACK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OR BASIN.

INSTALLATION:

- AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES, REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
- THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
- THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
- IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
- PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
- PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
- INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

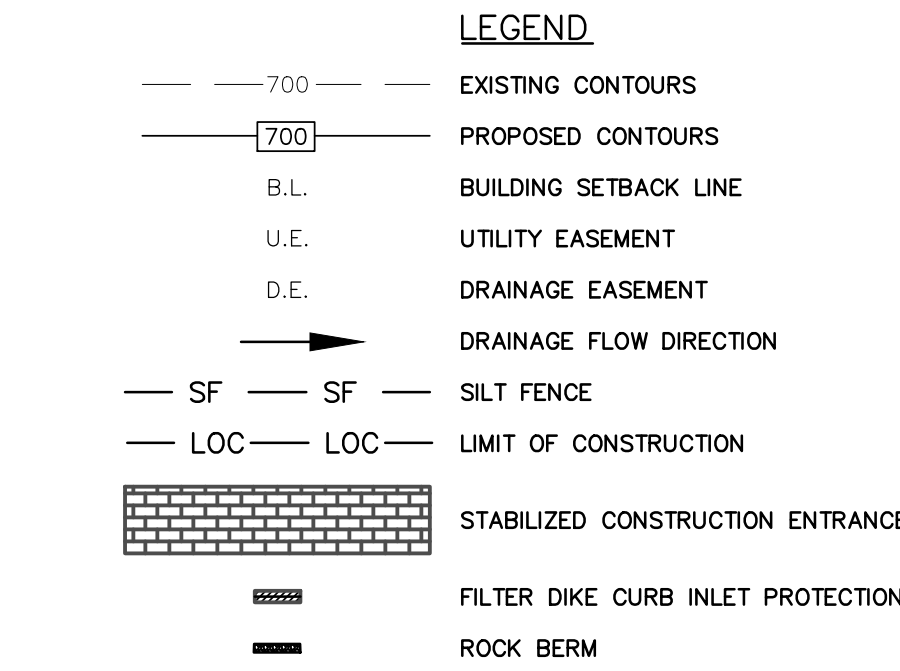
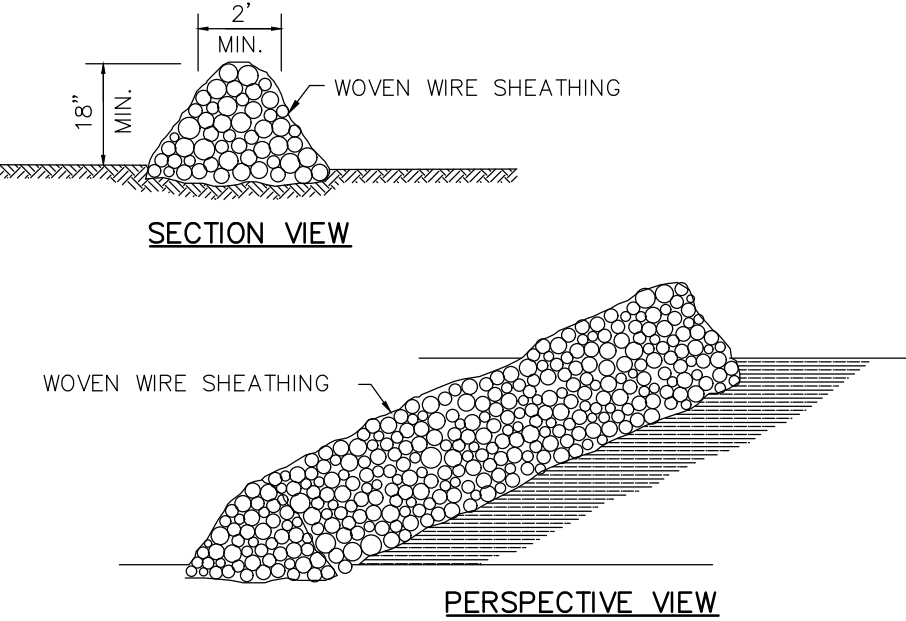
INSPECTION AND MAINTENANCE GUIDELINES:

- THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR LOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
- WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.



ROCK BERM

- USE ONLY OPEN GRADED ROCK 3-5" DIAMETER.
- THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 1" OPENINGS AND MINIMUM WIRE DIAMETER OF 20 GAUGE.
- THE ROCK BERM SHALL BE INSPECTED WEEKLY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE-WOVEN WIRE SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT CONSTRUCTION TRAFFIC DAMAGE, ETC.
- WHEN SILT REACHES A DEPTH EQUAL TO 6", THE SILT WILL BE REMOVED AND DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CREATE A SILTATION PROBLEM.
- DAILY INSPECTION SHALL BE MADE ON SEVERE SERVICE ROCK BERMS
- WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.



SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROLS PER APPROVED PLAN.
- TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
- CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
- CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
- CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
- CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
- INSTALL STREETSCAPE AND/OR LANDSCAPING IMPROVEMENTS.
- CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 80% VEGETATION PRIOR TO COMPLETION
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TDES REQUIREMENTS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
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07/30/2020

**EROSION CONTROL
DETAILS**
VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

REVISION	DESCRIPTION	DATE
NO.		

DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH
HMT PROJECT NO.:
216.028

SHEET
C3.1

Drawing Name: N:_Projects\216 - CSA Properties, LLC\208 - Veramendi Goddard School\216.028_DRNG.dwg User: jhmm Jul 29, 2020 - 5:33pm

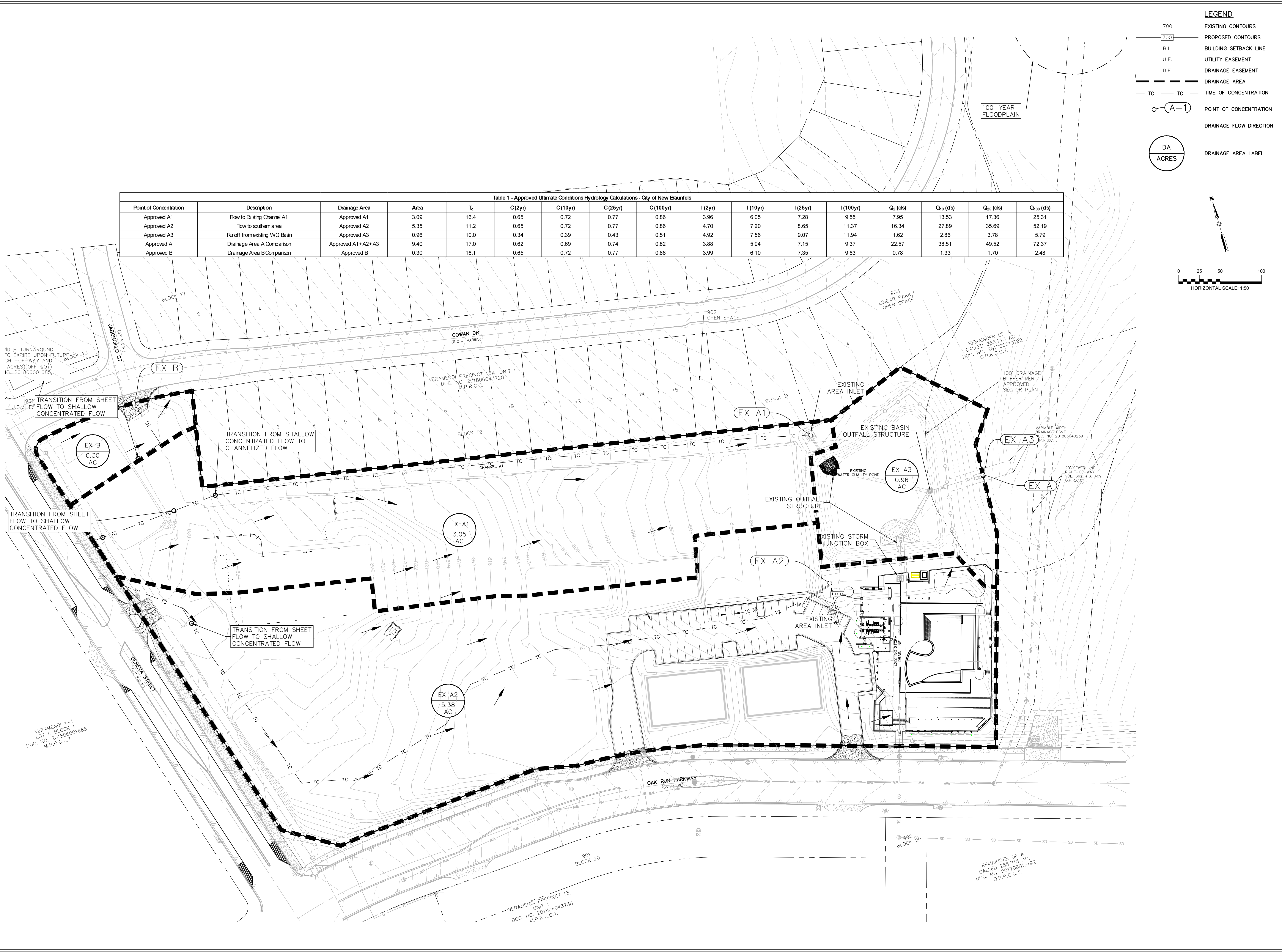


Table 1 - Approved Ultimate Conditions Hydrology Calculations - City of New Braunfels																
Point of Concentration	Description	Drainage Area	Area	T _c	C(2yr)	C(10yr)	C(25yr)	C(100yr)	I(2yr)	I(10yr)	I(25yr)	I(100yr)	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
Approved A1	Flow to Existing Channel A1	Approved A1	3.09	16.4	0.65	0.72	0.77	0.86	3.96	6.05	7.28	9.55	7.95	13.53	17.36	25.31
Approved A2	Flow to southern area	Approved A2	5.35	11.2	0.65	0.72	0.77	0.86	4.70	7.20	8.65	11.37	16.34	27.89	35.69	52.19
Approved A3	Runoff from existing WQ Basin	Approved A3	0.96	10.0	0.34	0.39	0.43	0.51	4.92	7.56	9.07	11.94	1.62	2.86	3.78	5.79
Approved A	Drainage Area A Comparison	Approved A1+A2+A3	9.40	17.0	0.62	0.69	0.74	0.82	3.88	5.94	7.15	9.37	22.57	38.51	49.52	72.37
Approved B	Drainage Area B Comparison	Approved B	0.30	16.1	0.65	0.72	0.77	0.86	3.99	6.10	7.35	9.63	0.78	1.33	1.70	2.48

LEGEND

700

EXISTING CONTOURS

700

PROPOSED CONTOURS

B.L.

BUILDING SETBACK LINE

U.E.

UTILITY EASEMENT

D.E.

DRAINAGE EASEMENT

DA

ACRES

TC

TIME OF CONCENTRATION

A-1

POINT OF CONCENTRATION

DA

DRAINAGE FLOW DIRECTION

DA

DRAINAGE AREA LABEL

0 25 50 100
HORIZONTAL SCALE: 1:50

290 S. CASTELL AVE., STE. 100
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HMT
ENGINEERING & SURVEYING

CHRISTOPHER P. VAN HERDE
93047
LICENSED PROFESSIONAL ENGINEER
Civil / Survey

07/30/2020

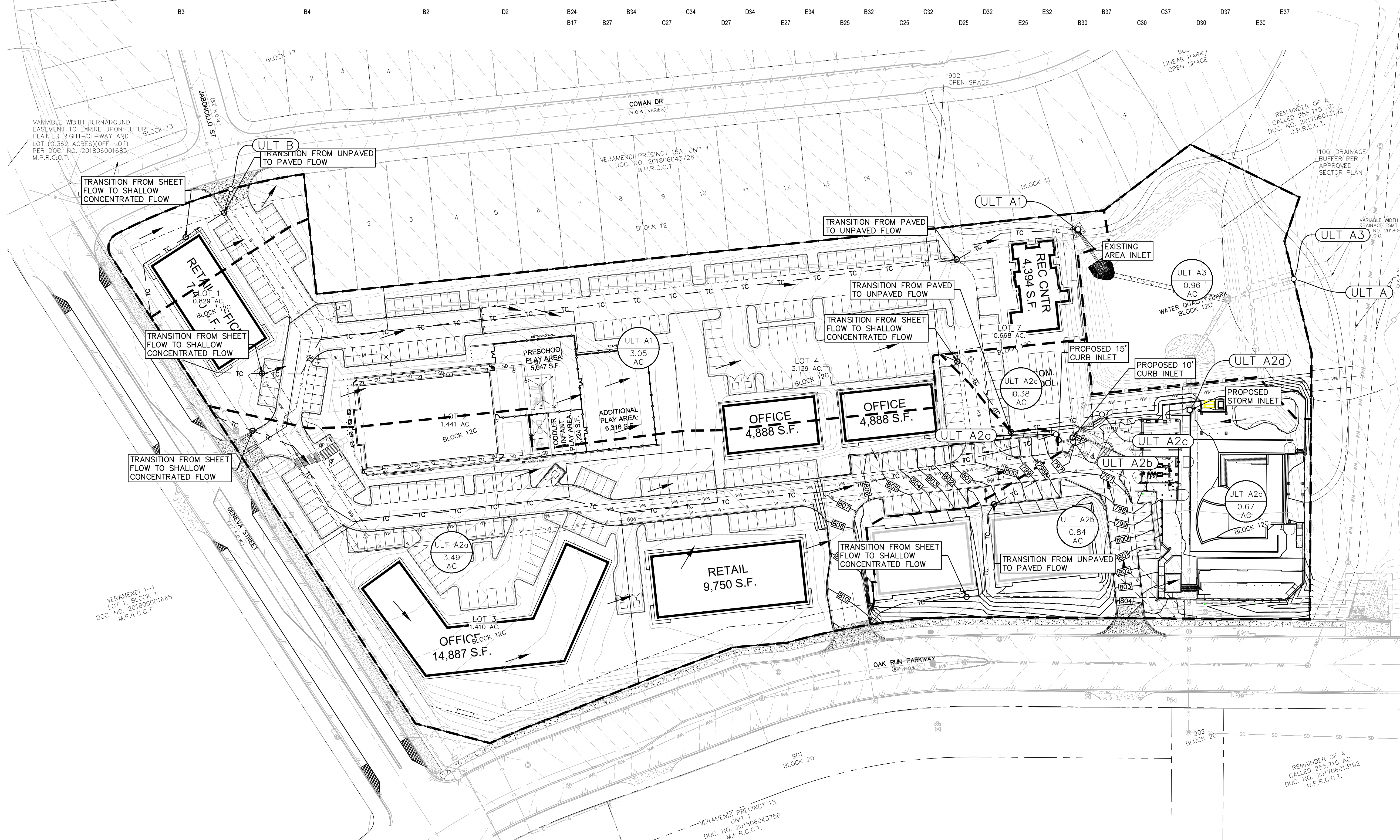
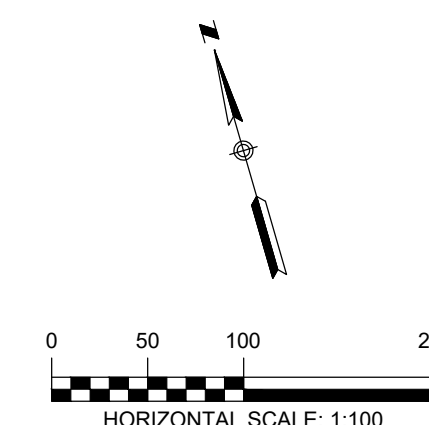
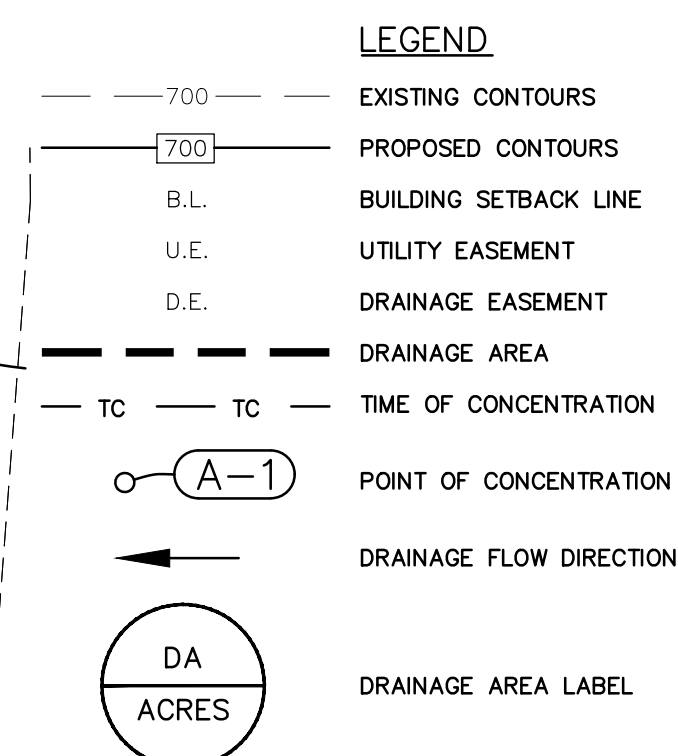
EXISTING DRAINAGE
AREA MAP
VERAMENDI GODDARD SCHOOL

NO.	REVISION	DESCRIPTION	REVISION DATE

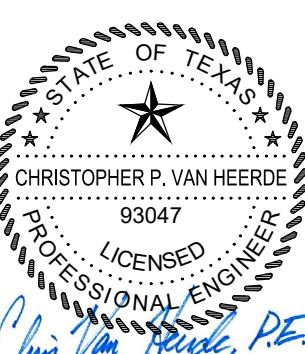
DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH
HMT PROJECT NO.: 216.028

SHEET
C4.0

Point of Concentration	Drainage Area	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
Approved A2	5.35	16.34	27.89	35.69	52.19
Ult A2	5.35	14.11	24.02	30.81	44.92
Proposed is Less Than or Equal to Existing		YES	YES	YES	YES



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**ULTIMATE DRAINAGE
AREA MAP**

VERAMENDI GODDARD SCHOOL

[illegible]

DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH
HMT PROJECT NO.: 216.028

SHEET
C4.1



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NOTES:

1. DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
2. FINISHED FLOOR ELEVATIONS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 2.A. PER NOTE 10 ON PLAT SHEET **C2.0**.
3. WHEN POSSIBLE, CONTRACTOR SHALL PHASE GRADING SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST PERIOD OF TIME.

- NOTES:
1. DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
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HMT
ENGINEERING & SURVEYING



GRADING PLAN

GRADING PLAN

DATE: **JULY 2020**

DRAWN BY: **JAD**

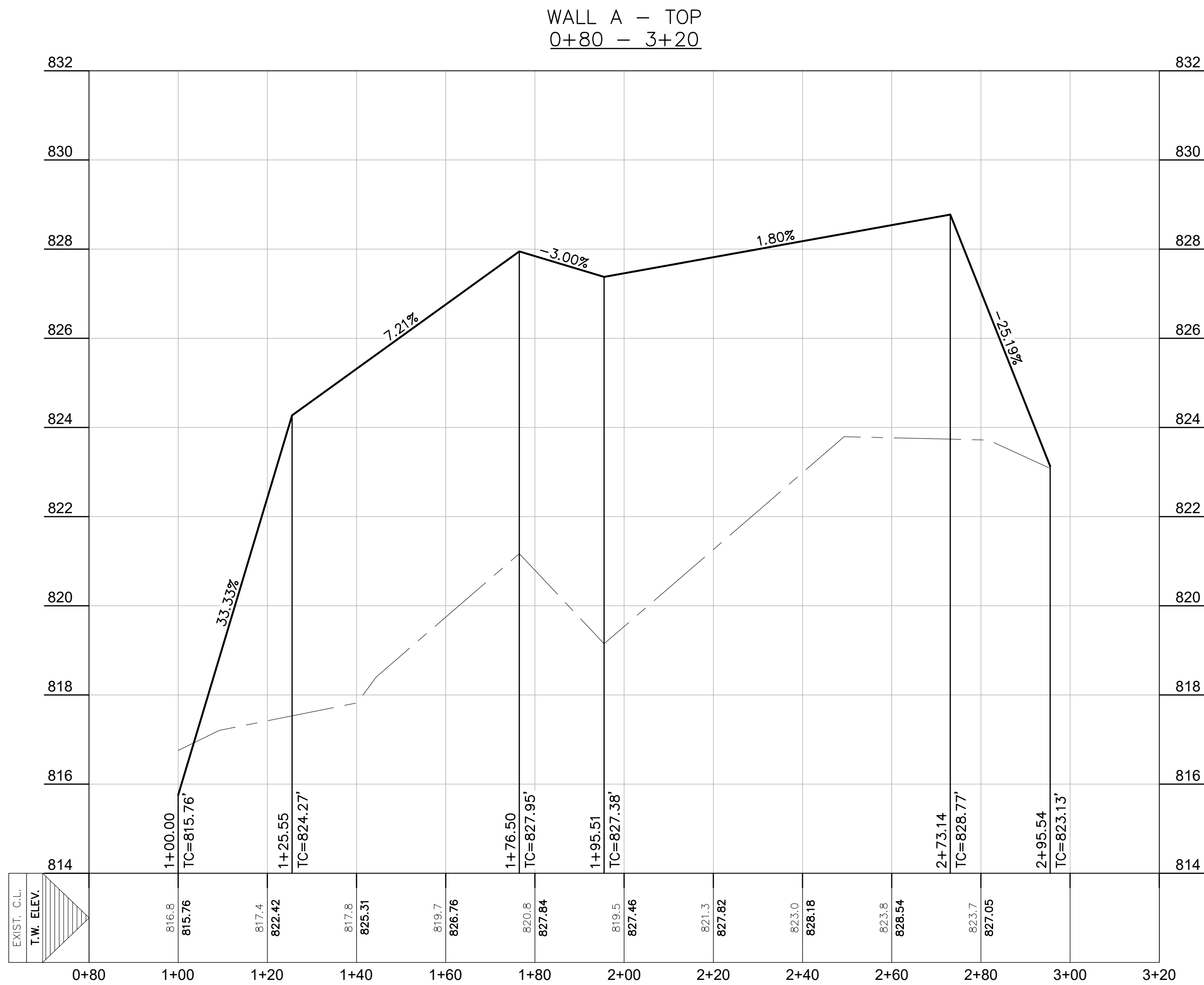
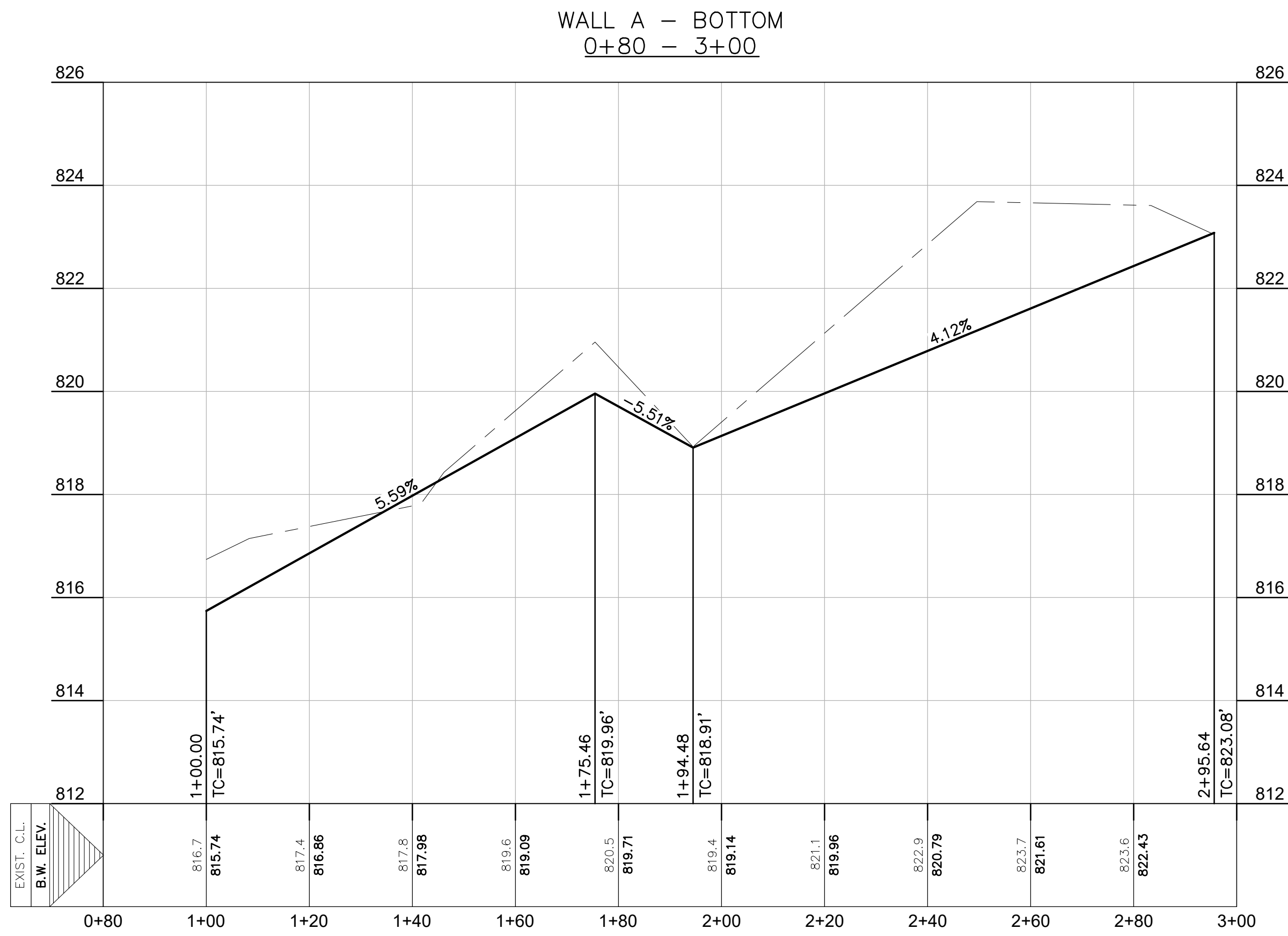
DESIGNED BY: **JMM**

REVIEWED BY: **CVH/SWH**

HMT PROJECT NO.:
216.028

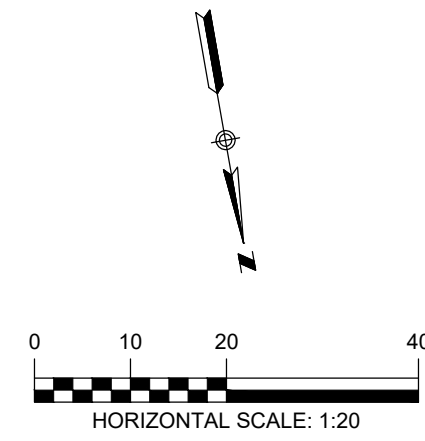
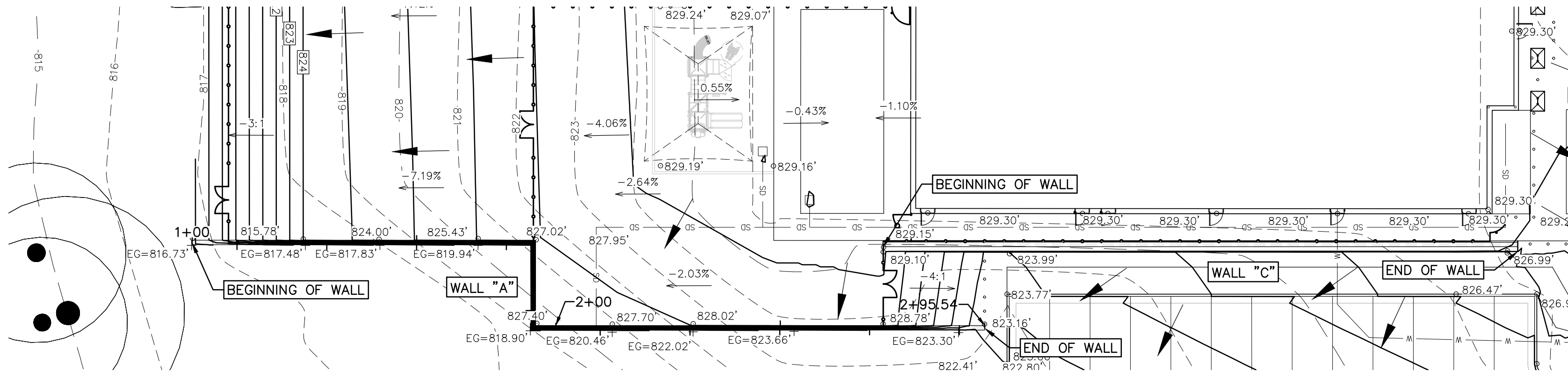
SHEET
C5.0

Drawing Name: N:_Projects\216 - Veramendi Goddard School\216.028 0940.dwg User: jphm Jul 29, 2020 - 5:34pm



REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

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- LEGEND**
- 700 — EXISTING CONTOURS
 - 700 — PROPOSED CONTOURS
 - B.L. — BUILDING SETBACK LINE
 - U.E. — UTILITY EASEMENT
 - D.E. — DRAINAGE EASEMENT
 - > DRAINAGE FLOW DIRECTION

NOTES:

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WALL A P&P

VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

07/30/2020

NO.	REVISION DESCRIPTION	REVISION DATE

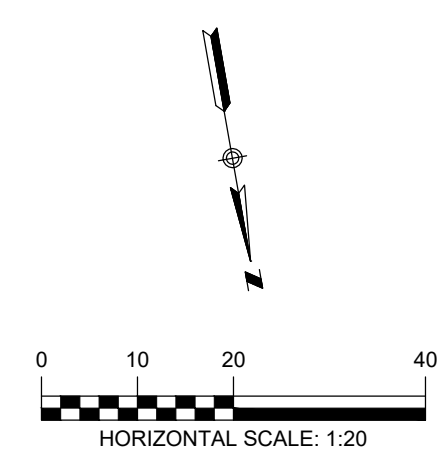
DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH

HMT PROJECT NO.:
216.028

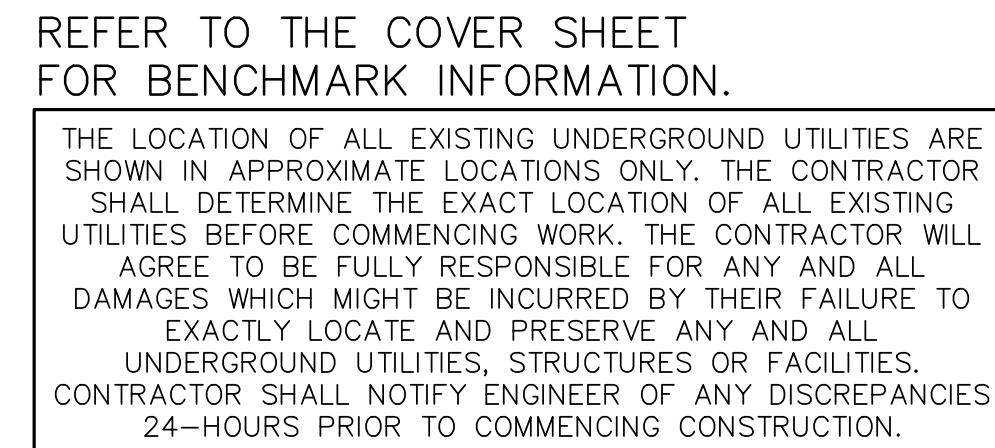
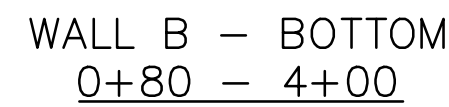
SHEET
C5.1

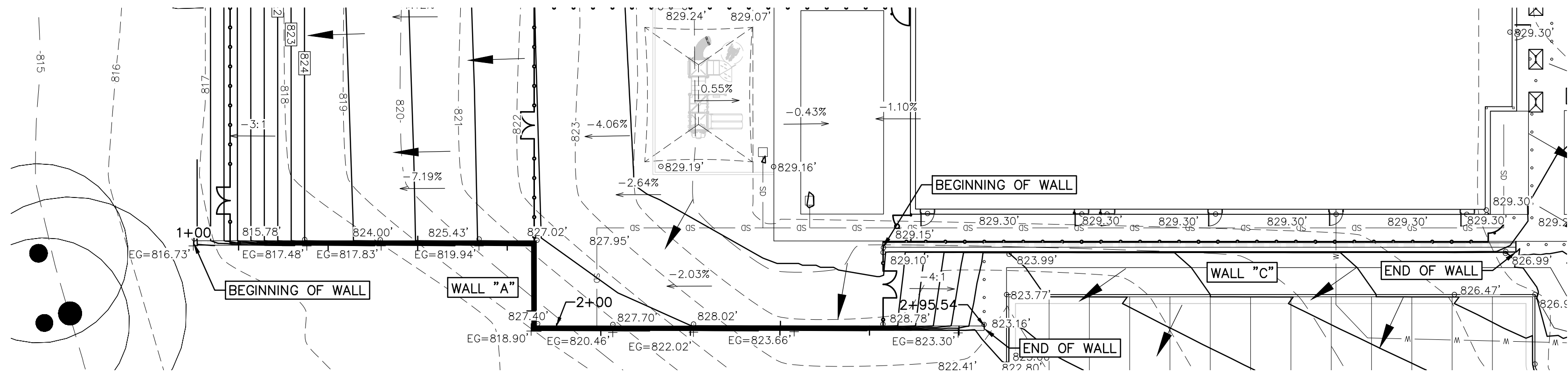
290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



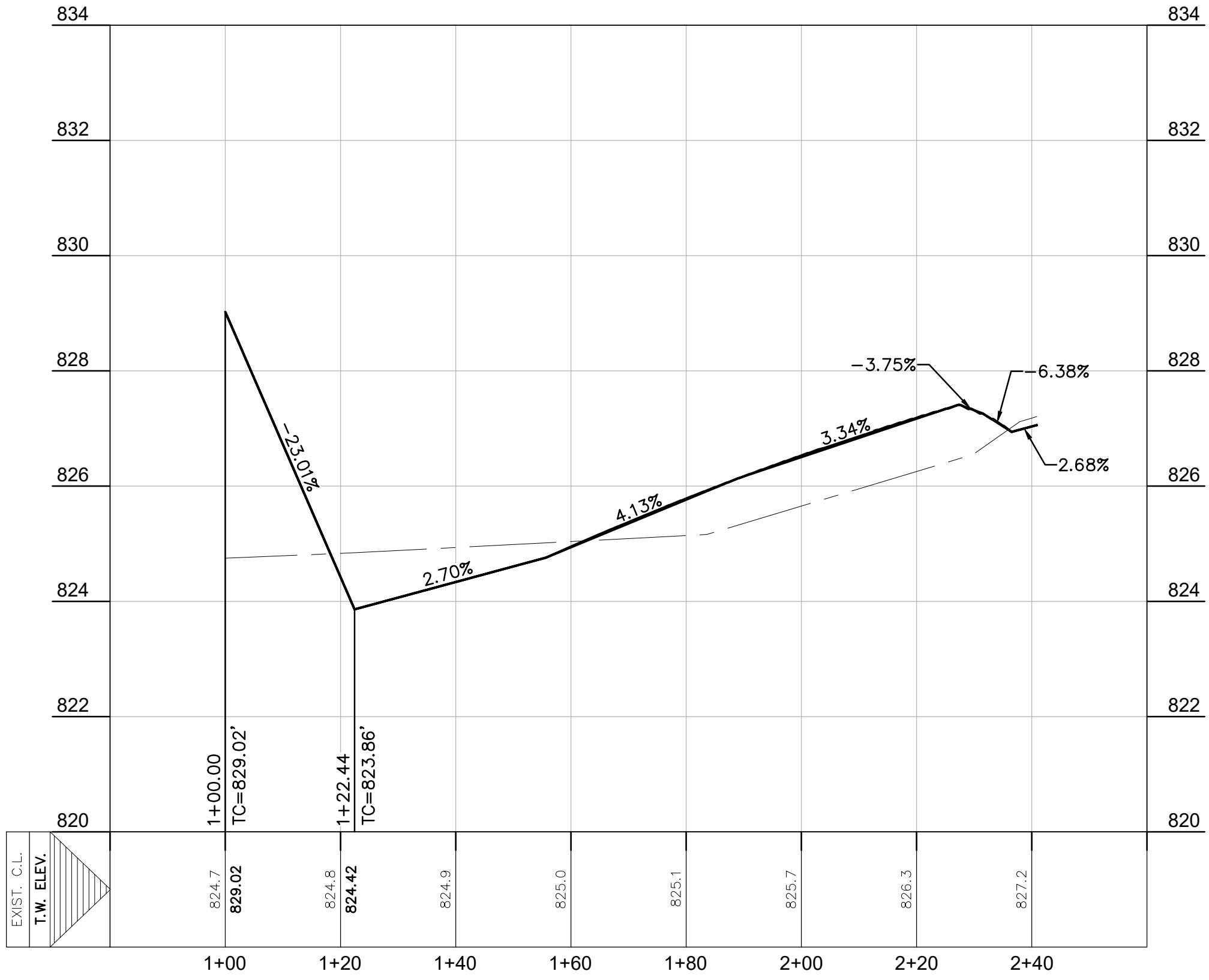


- NOTES:

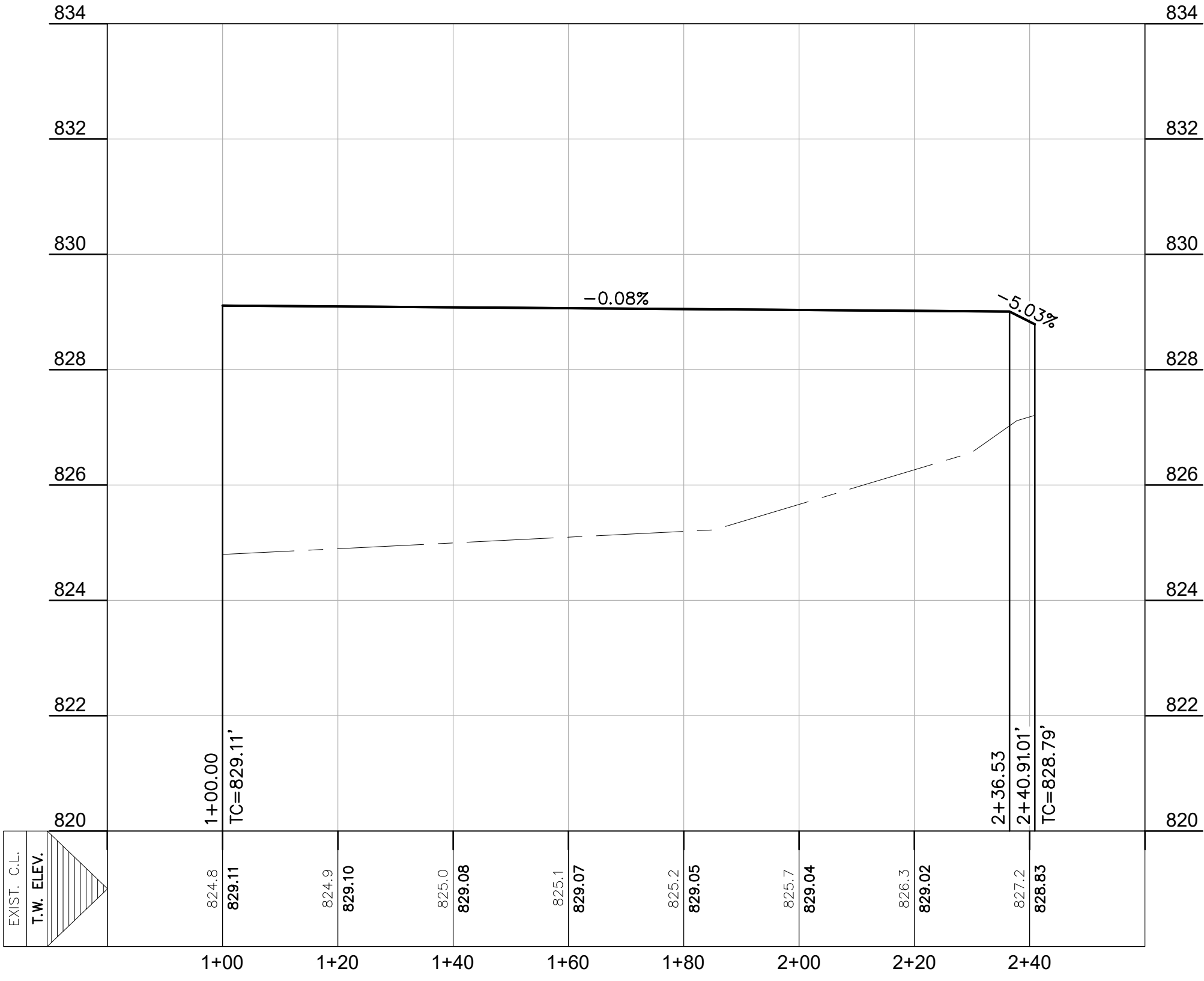




WALL C BOTTOM
0+80 - 2+60

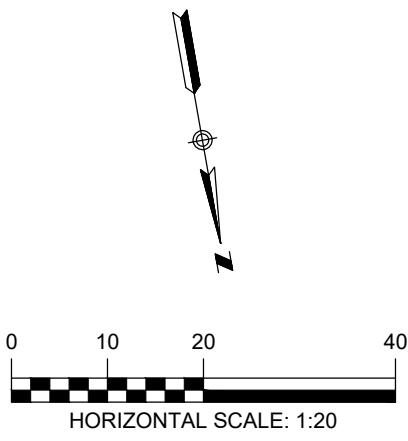


WALL C TOP
0+80 - 2+60



REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

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 - DRAINAGE FLOW DIRECTION

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WALL C P&P

VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH

HMT PROJECT NO.:
216.028

SHEET
C5.3

Drawing Name: N:_Projects\216 - Veramendi Goddard School\03b\216.028 SITE.dwg User: jphm Jul 28, 2020 - 5:36pm

EQUIPMENT NOTE

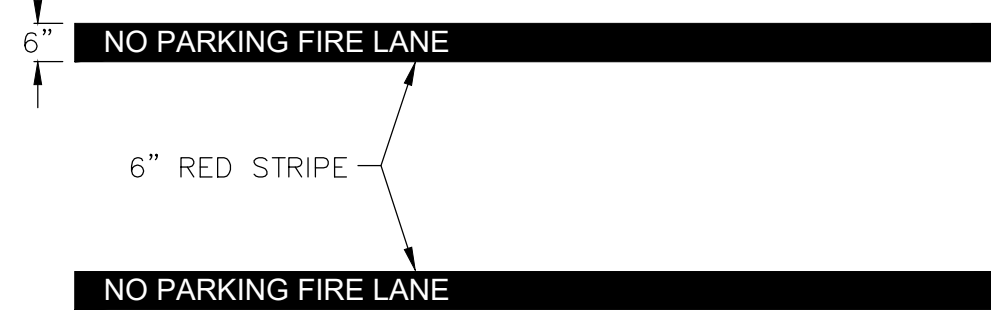
PLAYGROUND EQUIPMENT IS DESIGNED WITH THE PRIMARY COLORS BLUE, RED, GREEN AND YELLOW. DEVELOPER/DESIGN PROFESSIONAL TO CONFIRM THAT THERE ARE NO RESTRICTIONS THAT WILL NOT PERMIT THE INSTALLATION OF EQUIPMENT WITH THESE COLORS. DEVELOPER/DESIGN PROFESSIONAL TO VERIFY WITH ANY GOVERNING BODY NOT LIMITED TO PLANNING AND ZONING BOARDS, ARCHITECTURAL REVIEW BOARDS, OR HOME OWNER'S ASSOCIATIONS AS WELL AS WITH AND NOT LIMITED TO THE REVIEW OF ANY COVENANTS AND RESTRICTIONS OR DESIGN GUIDELINES. GODDARD SYSTEMS, INC. (GSI) CAN PROVIDE COLOR ELEVATIONS OF THE EQUIPMENT IF NECESSARY. PLEASE CONTACT YOUR GSI REPRESENTATIVE IF THE PRIMARY COLORS ARE NOT PERMITTED.

- KEY NOTES**
- 1 SPILL CURB
 - 2 CATCH CURB
 - 3 LIGHT DUTY PAVEMENT
 - 4 HEAVY DUTY PAVEMENT
 - 5 LANDSCAPE AREA
 - 6 ACCESSIBLE PARKING SIGN
 - 7 RETAINING WALL
 - 8 RETAINING WALL W/FENCE*
 - # PARKING COUNT

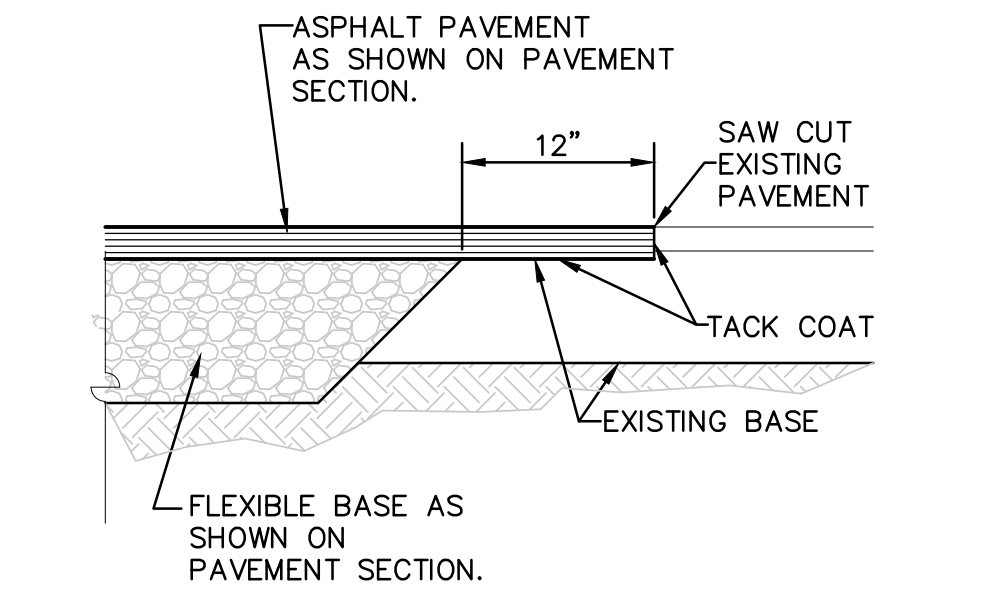
*SEE DETAIL 16, SHEET C6.3

FIRE LANE NOTES:

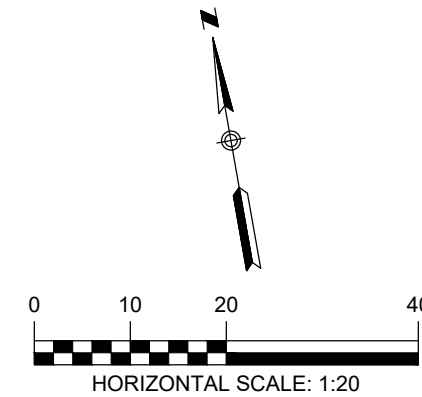
STRIPING - THE TOP FACE OF ROAD CURBS SHALL BE PAINTED UTILIZING RED TRAFFIC PAINT.
A. IF NO CURBS ARE PRESENT, A SIX INCH (6") WIDE STRIPE PAINTED OF TRAFFIC RED PAINT SHALL BE PAINTED ON THE DRIVING SURFACE TO SHOW THE BOUNDARIES OF THE LANE.
B. THE WORDS "NO PARKING FIRE LANE" SHALL BE SPACED AT A MAXIMUM OF 12 FEET APART, ALONG THE LENGTH OF THE FIRE LANES.
SEE ILLUSTRATION BELOW.



1 FIRE LANE DETAIL
N.T.S.



2 NEW PAVEMENT TO EXISTING
N.T.S.

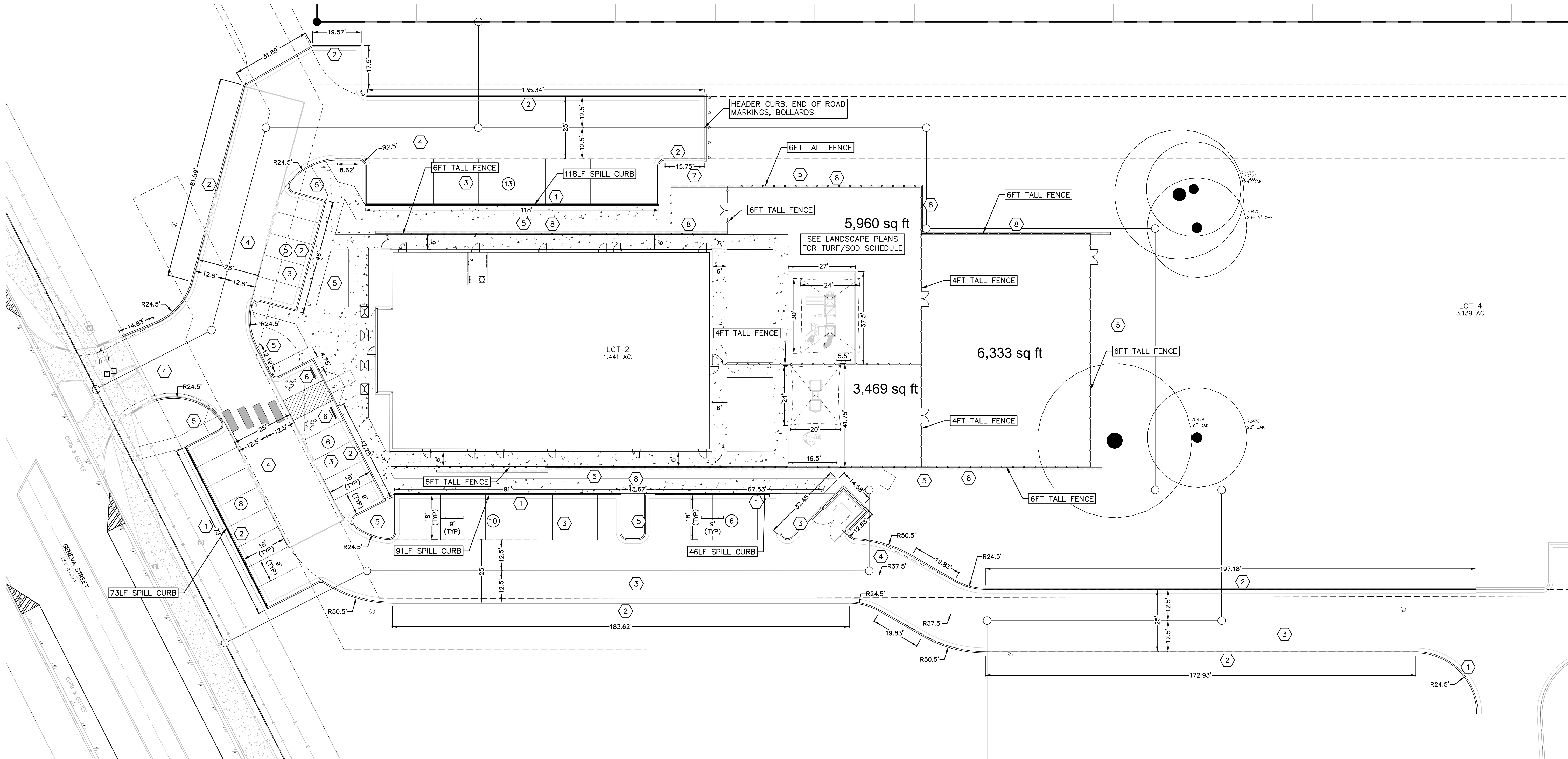


NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE STATED.
2. ALL SIDEWALKS SHALL HAVE A CROSS SLOPE OF NO GREATER THAN 2.0%.

LEGEND

- U.E. UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
A.D.A. RAMPS
A.D.A. PARKING



NOTE:

1. ALL PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE TO THE "GEOTECHNICAL ENGINEERING STUDY - VERAMENDI MASTER PLANNED DEVELOPMENT UNIT 15A - AMENITY CENTER" REPORT BY RABA KISTNER, DATED NOVEMBER 2019.
2. ALL PAVEMENT SECTIONS SHOWN ON THE ABOVE TABLE SHALL SUPERCEDE ANY STANDARD DETAILS WITH RESPECT TO DEPTH OF MATERIALS ASSOCIATED WITH THIS PROJECT.
3. THE SUBGRADE SHOULD BE STABILIZED USING LIME IN ACCORDANCE WITH THE GEOTECHNICAL REPORT IN ORDER TO ACHIEVE THE FOLLOWING:
 - 3.1 PLASTICITY INDEX OF 20 OR LESS
 - 3.2 PH OF 12.4 OR GREATER
4. THE SUBGRADE SOILS SHOULD BE TESTED FOR SOLUBLE SULPHATE CONTENT PRIOR TO INSTALLATION OF THE LIME OR CEMENT.

FLEXIBLE PAVEMENTS		
PAVEMENT MATERIAL	HEAVY	LIGHT
TYPE "D" HMA	2"	2"
CRUSHED LIMESTONE FLEXIBLE BASE, IN.	11"	9"
TENSAR GEOGRID	-	-
LIME TREATED SUBGRADE	8"	8"

3 TYPICAL PAVEMENT SECTION

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07/30/2020

SITE PLAN
VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

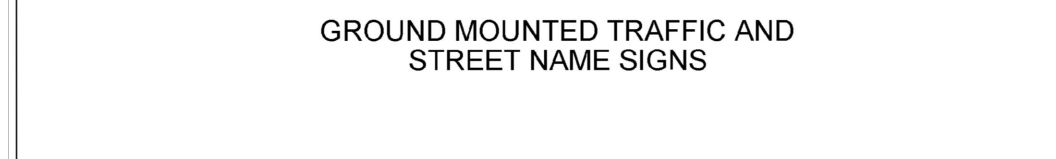
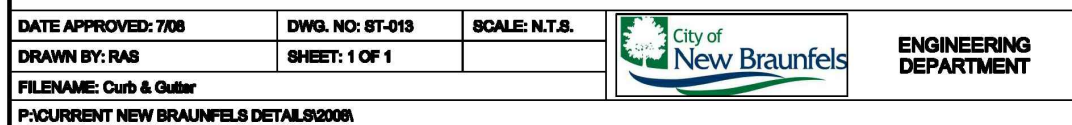
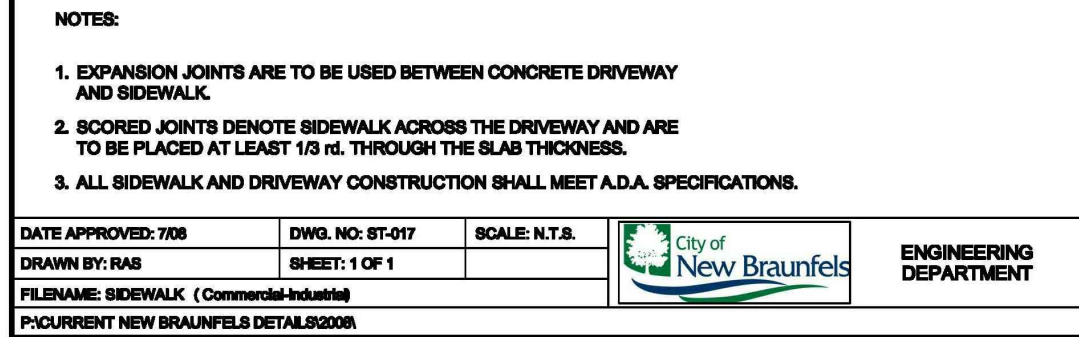
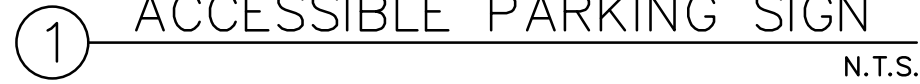
NO.	REVISION	DESCRIPTION	DATE

DATE: JULY 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH

HMT PROJECT NO.:
216.028

SHEET
C6.0

- ### DETECTABLE WARNING NOTICES
1. CURB RAMPS OR LANDINGS APPROXIMATE THE CROSSWALK MAY HAVE A DETECTABLE WARNING SURFACE THAT CONSISTS OF RAISED TRUNCATED CONES COMPLYING WITH SECTION 709 OF THE ADA ACCESSIBILITY STANDARDS. THE SURFACE SHOULD CONTRAST VISUALLY WITH ADJACENT SURFACES, INCLUDING SIDE FASCHES, FURNISH DARK BROWN OR DARK RED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
 2. DETECTABLE WARNING SURFACES SHALL BE SUR PRESTAINET AND NOT ALLOW WATER TO ACCUMULATE.
 3. ALIGH TRUNCATED CONES IN THE DIRECTION OF PEDESTRIAN TRAFFIC WHEN ENTERING THE STREET.
 4. DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 34" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAFFIC, AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN CROSSES THE STREET.
 5. DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS AT THE BACK OF CURB. ALIGH THE ROWS OF CONES TO BE PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP RAMP AND THE STREET. DETECTABLE WARNING SURFACES MAY BE CURVED ALIGH THE CORNER BACK.
 6. DETECTABLE WARNING MATERIALS SHALL MEET "2007 DEPARTMENTAL MATERIALS SPECIFICATION MS-450 AND BE LISTED ON THE MATERIAL PRODUCER LIST. INSTAL PRODUCTION IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 7. DETECTABLE WARNING PAVERS SHALL NOT BE PERMITTED WITH THE APPROVAL BY THE PUBLIC WORKS DEPARTMENT.

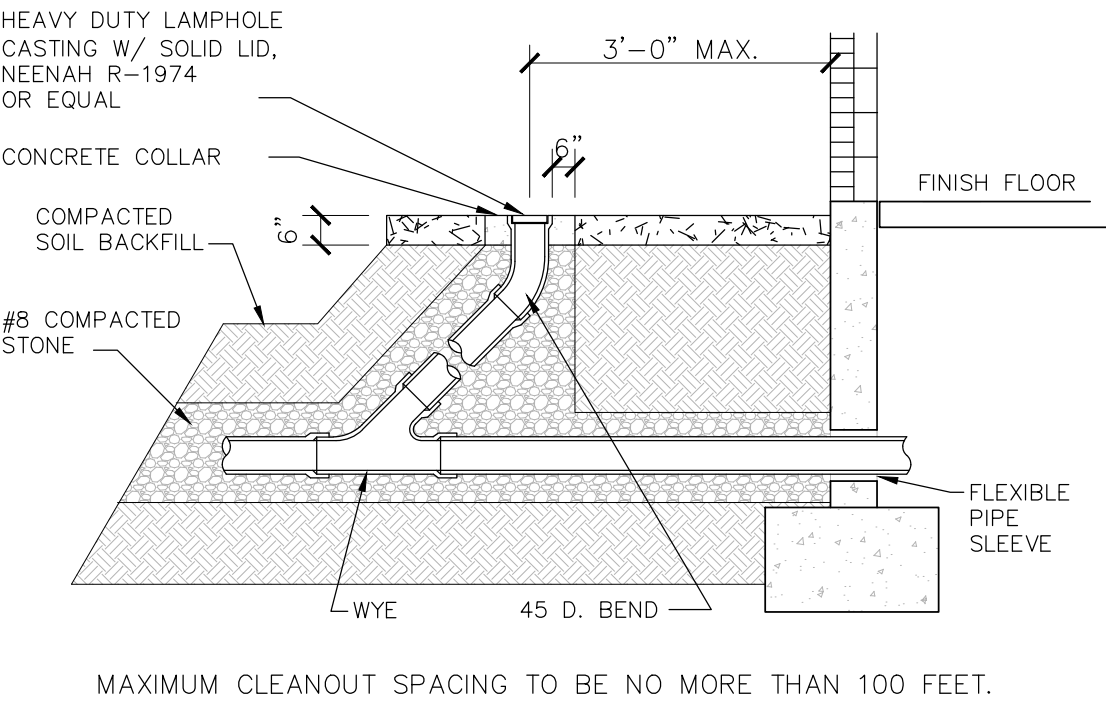
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SHEET
C6.2

Drawing Name: N:_Projects\216 - Veramendi Goddard School\CDs\216.028 SITE.dwg User: jphm Jul 28, 2020 - 5:36pm

17 BICYCLE RACK

SCALE: 3/4" = 1'-0"

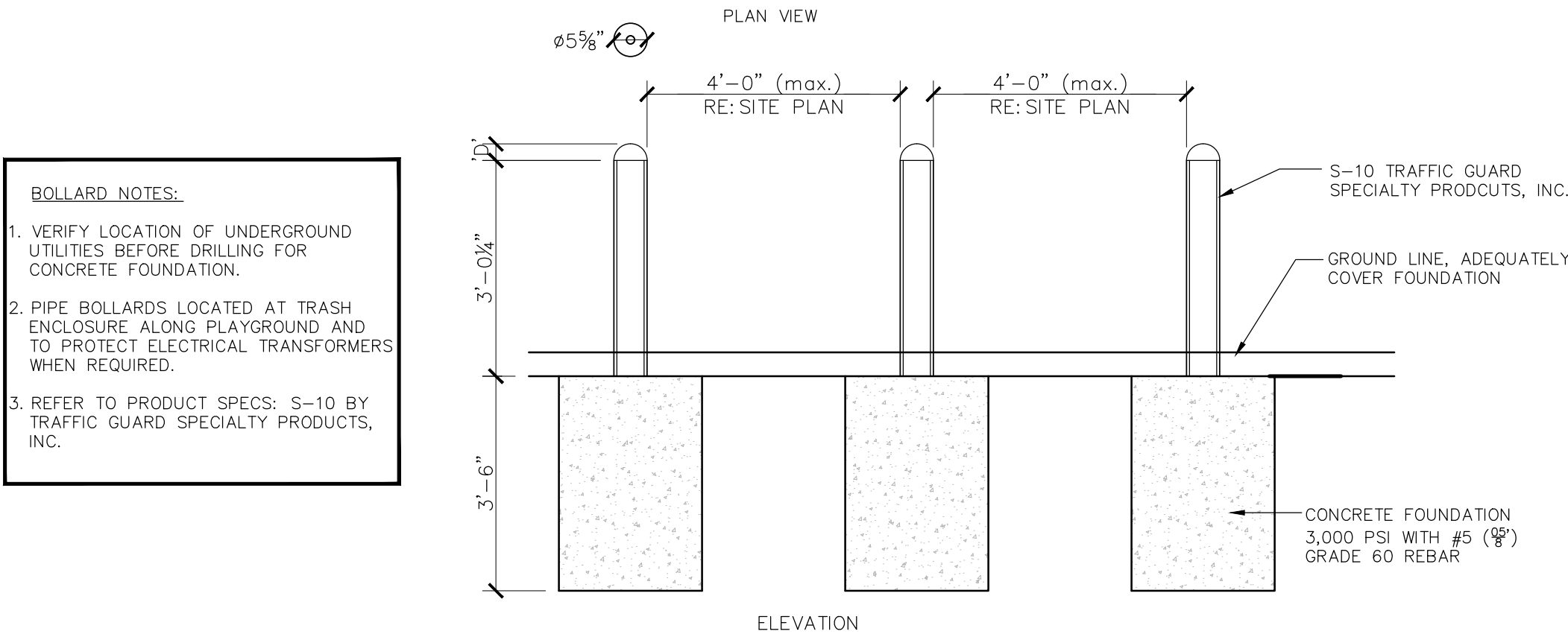


18 TYP. CLEANOUT DETAIL

SCALE: N.T.S.

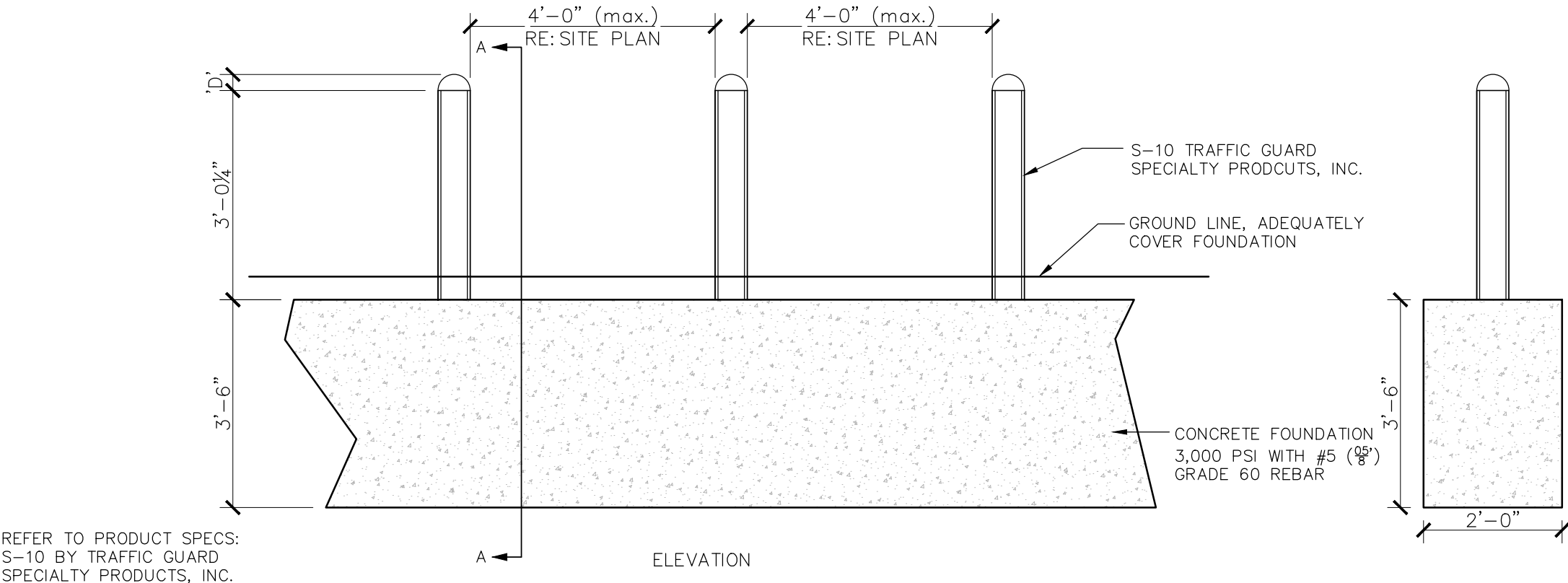
10 SHAFT FOOTING BOLLARD (DISTANCE > 4'-0")

SCALE: 1/2" = 1'-0"



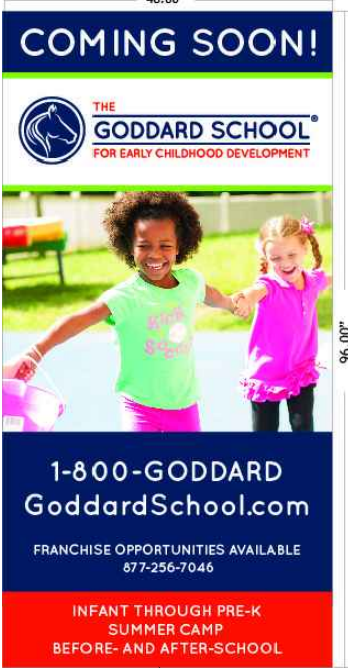
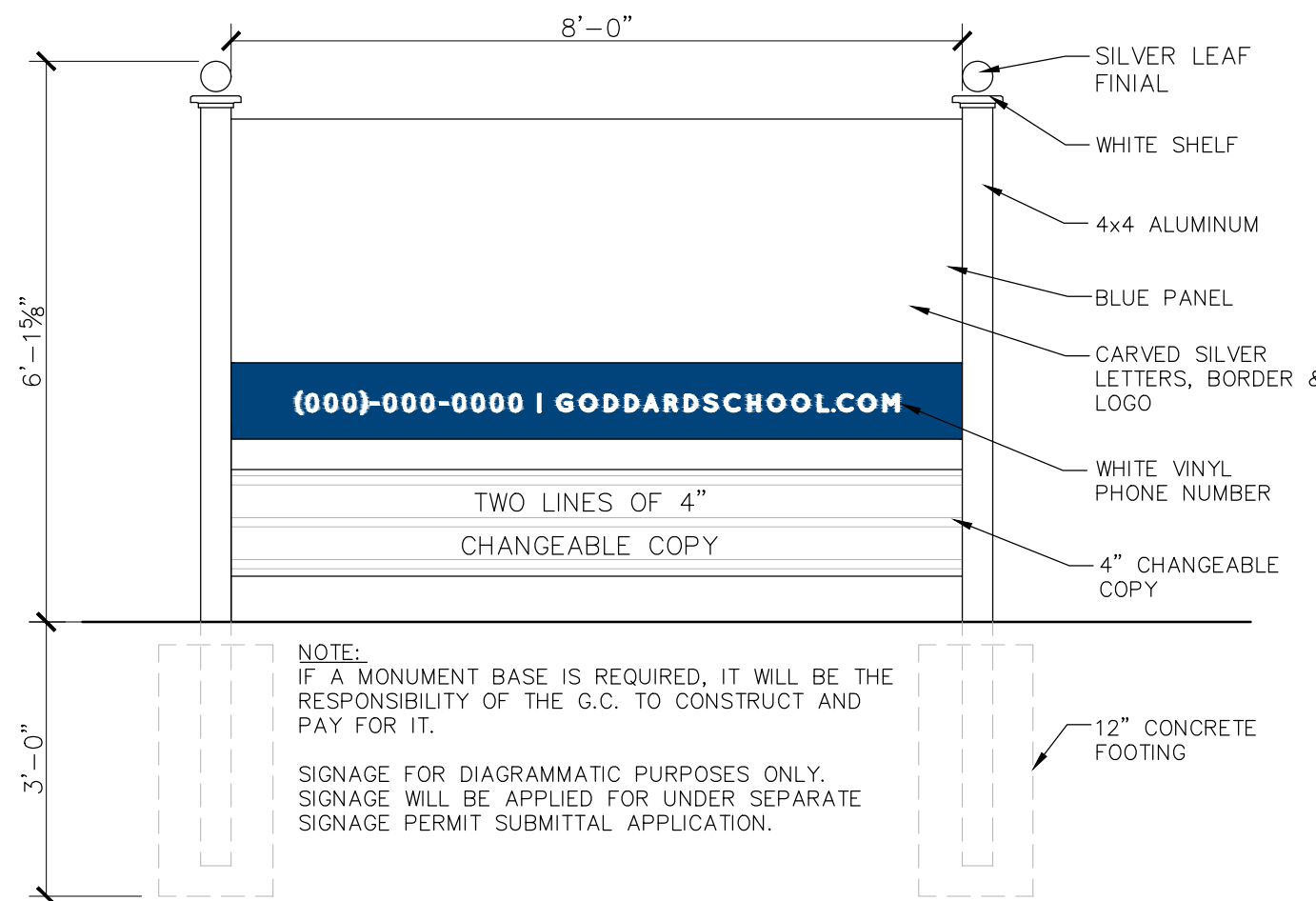
11 TRENCH FOOTING BOLLARD (DISTANCE < 4'-0")

SCALE: 1/2" = 1'-0"



05 MONUMENT SIGNAGE DETAIL

SCALE: 1/4" = 1'-0"

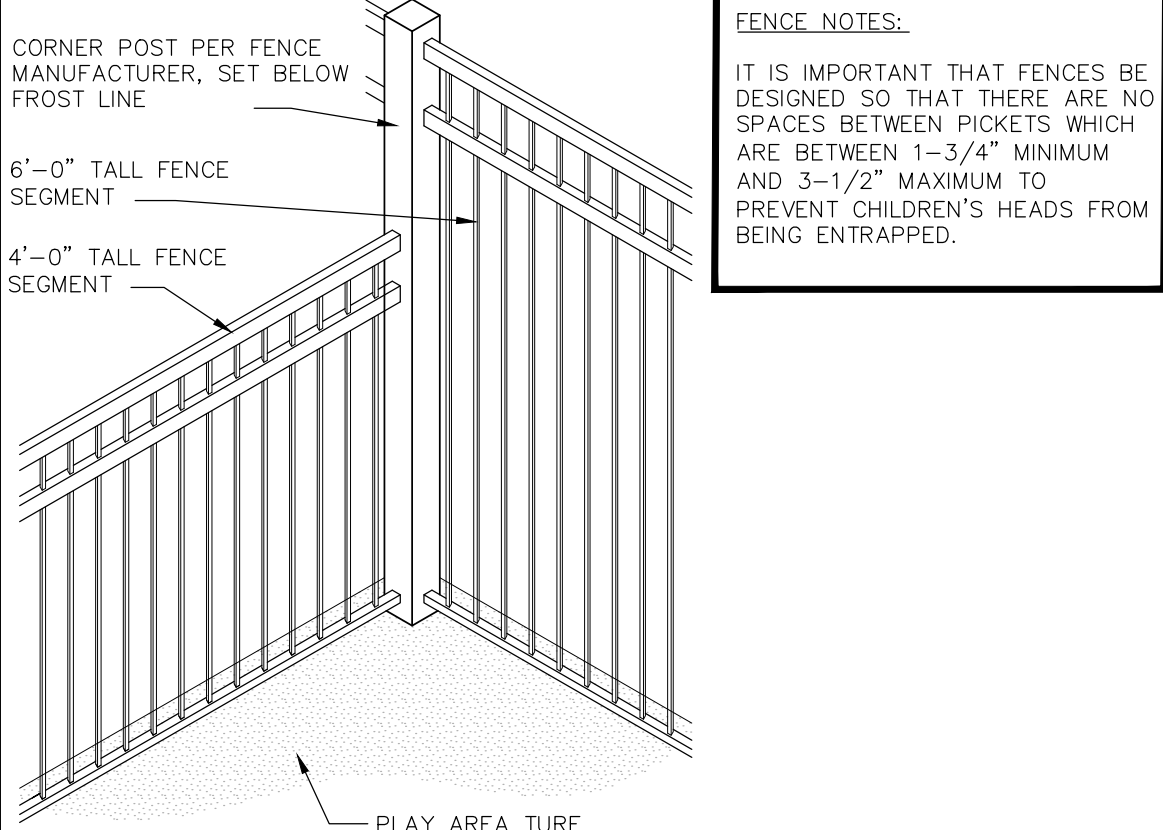


06 TEMPORARY SIGN (TYPE 2)

SCALE: 1/4" = 1'-0"

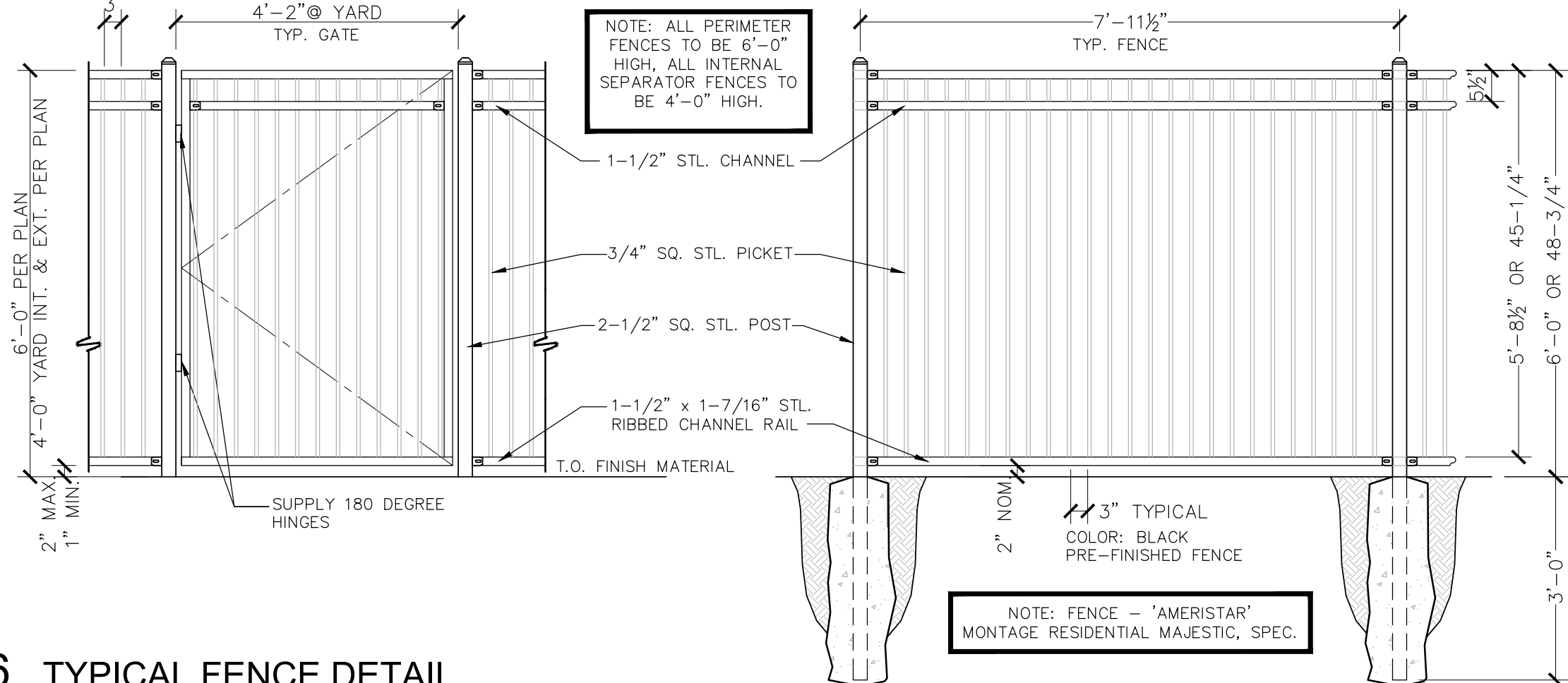
20 FENCE TRANSITION DETAIL

SCALE: N.T.S.



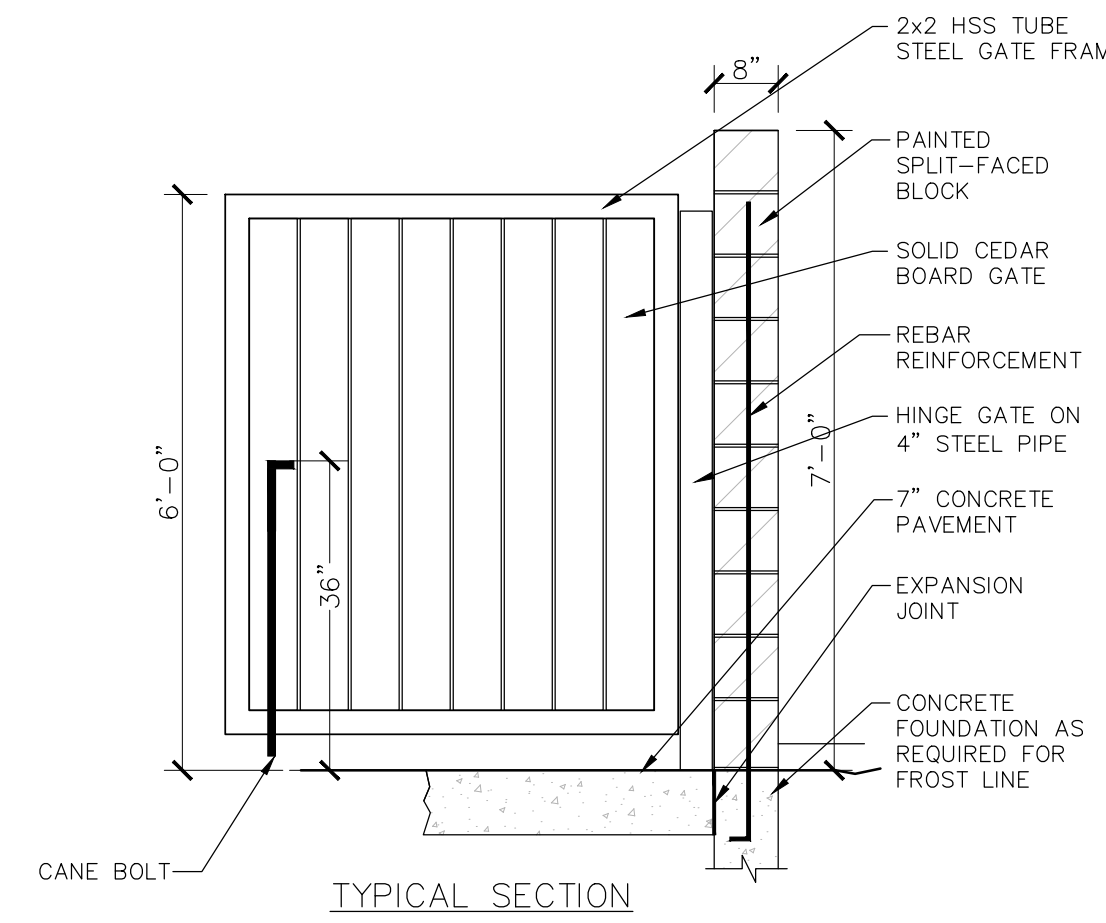
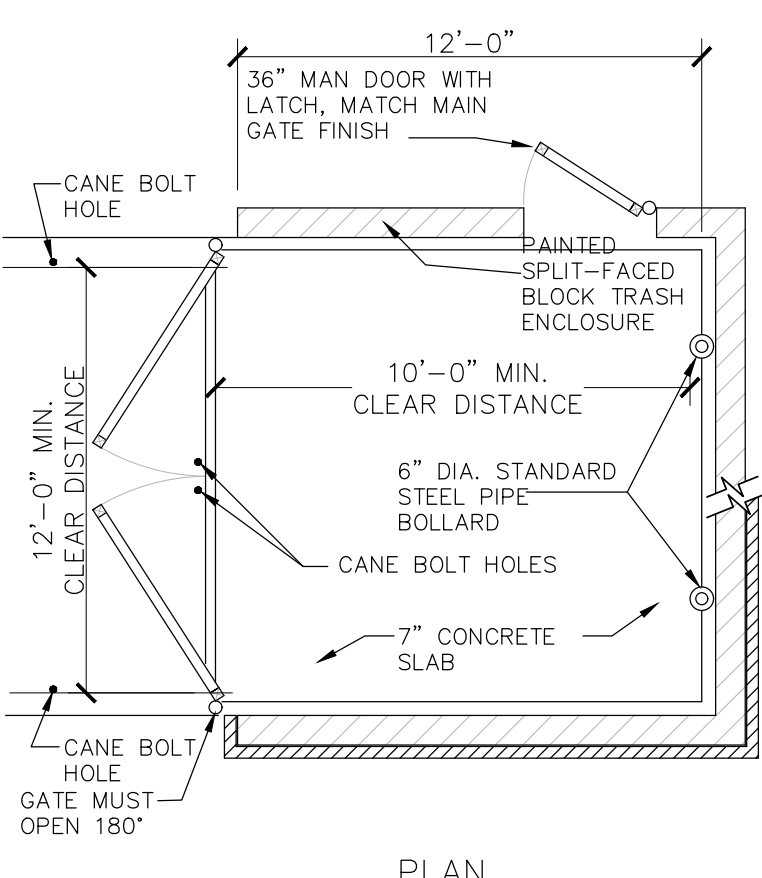
16 TYPICAL FENCE DETAIL

SCALE: 1/2" = 1'-0"



08 TRASH ENCLOSURE DETAILS

SCALE: N.T.S.



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPFS FIRM 1053600

HMT
ENGINEERING & SURVEYING

STATE OF TEXAS
CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER
Chris Van Heerde, P.E.

07/30/2020

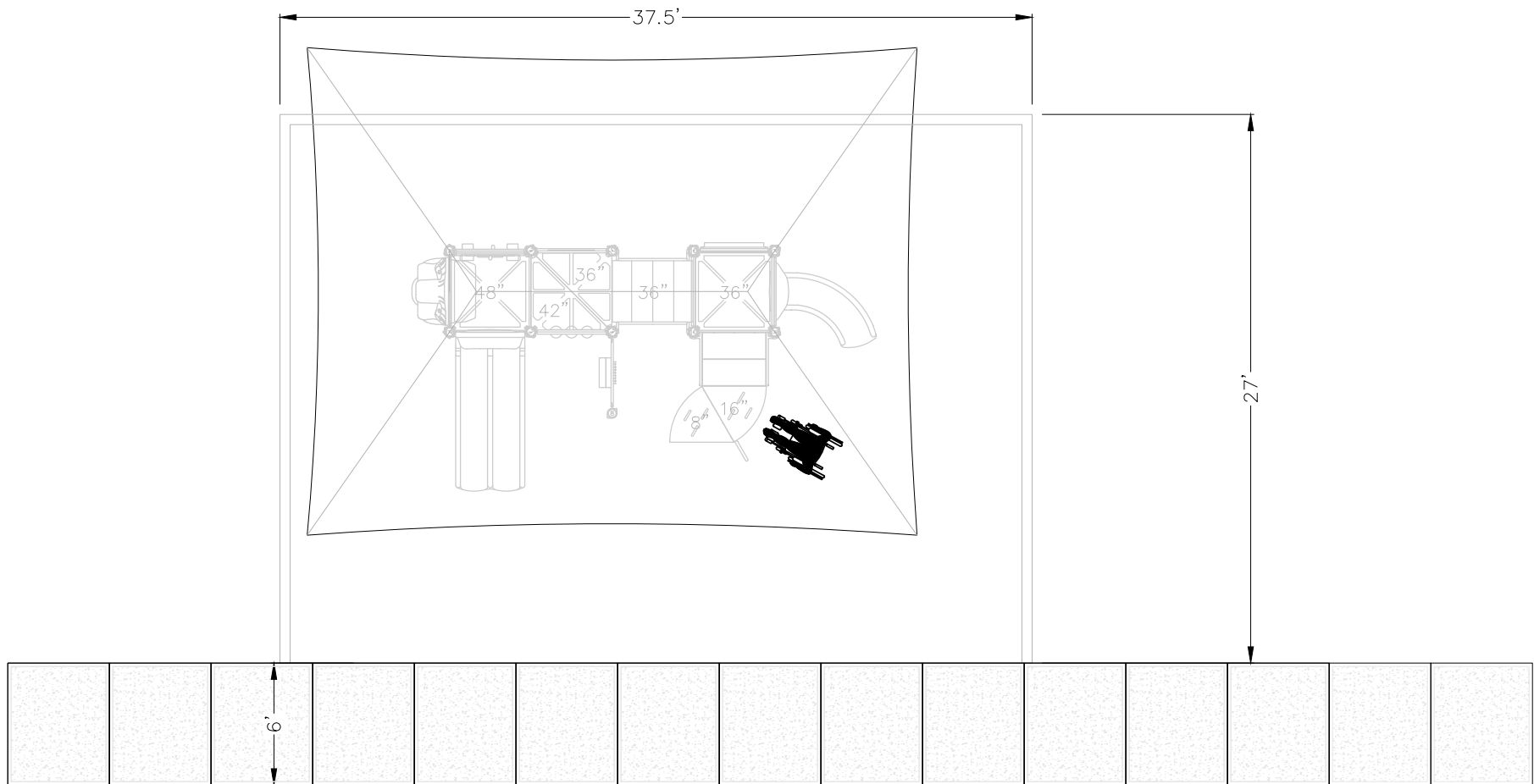
SITE DETAILS (3 OF 3)
VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

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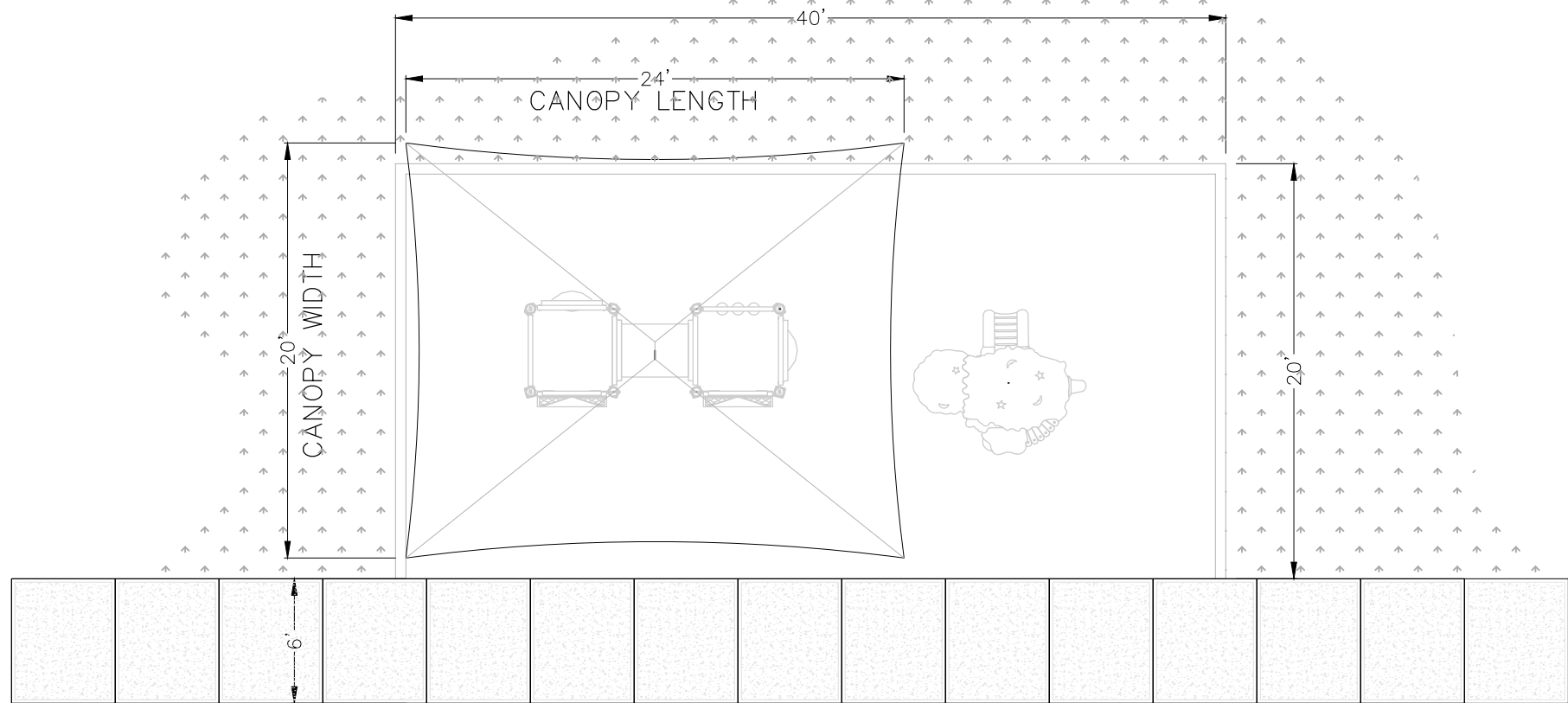
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C6.3

Drawing Name: N:_Projects\216 - Veramendi Goddard School\036\216.028 SITE.dwg User: jphmm Jul 28, 2020 - 5:36pm



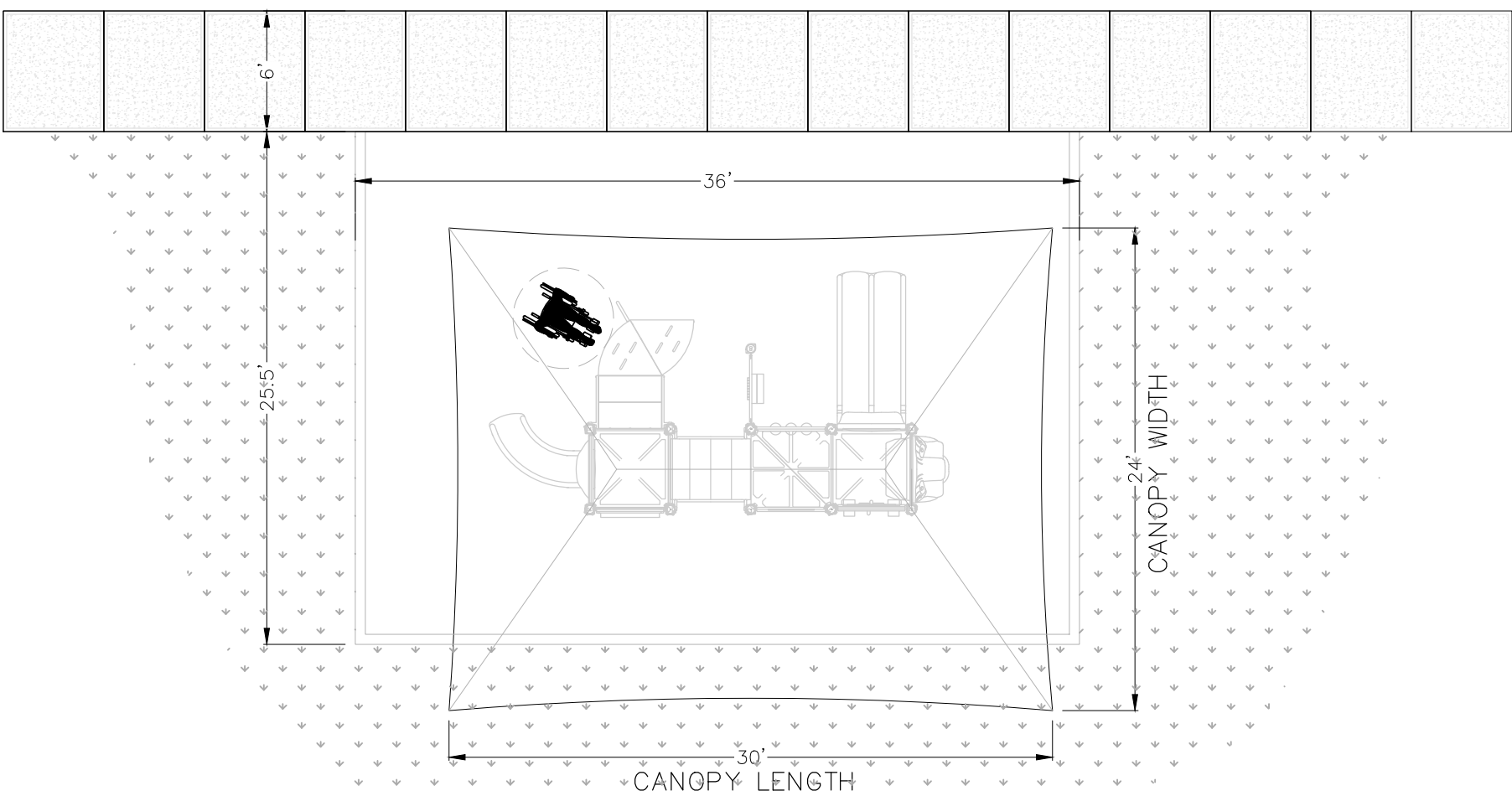
10 (ALTERNATE) PRESCHOOL PLAY STRUCTURE

SCALE: 1/8"=1'-0"



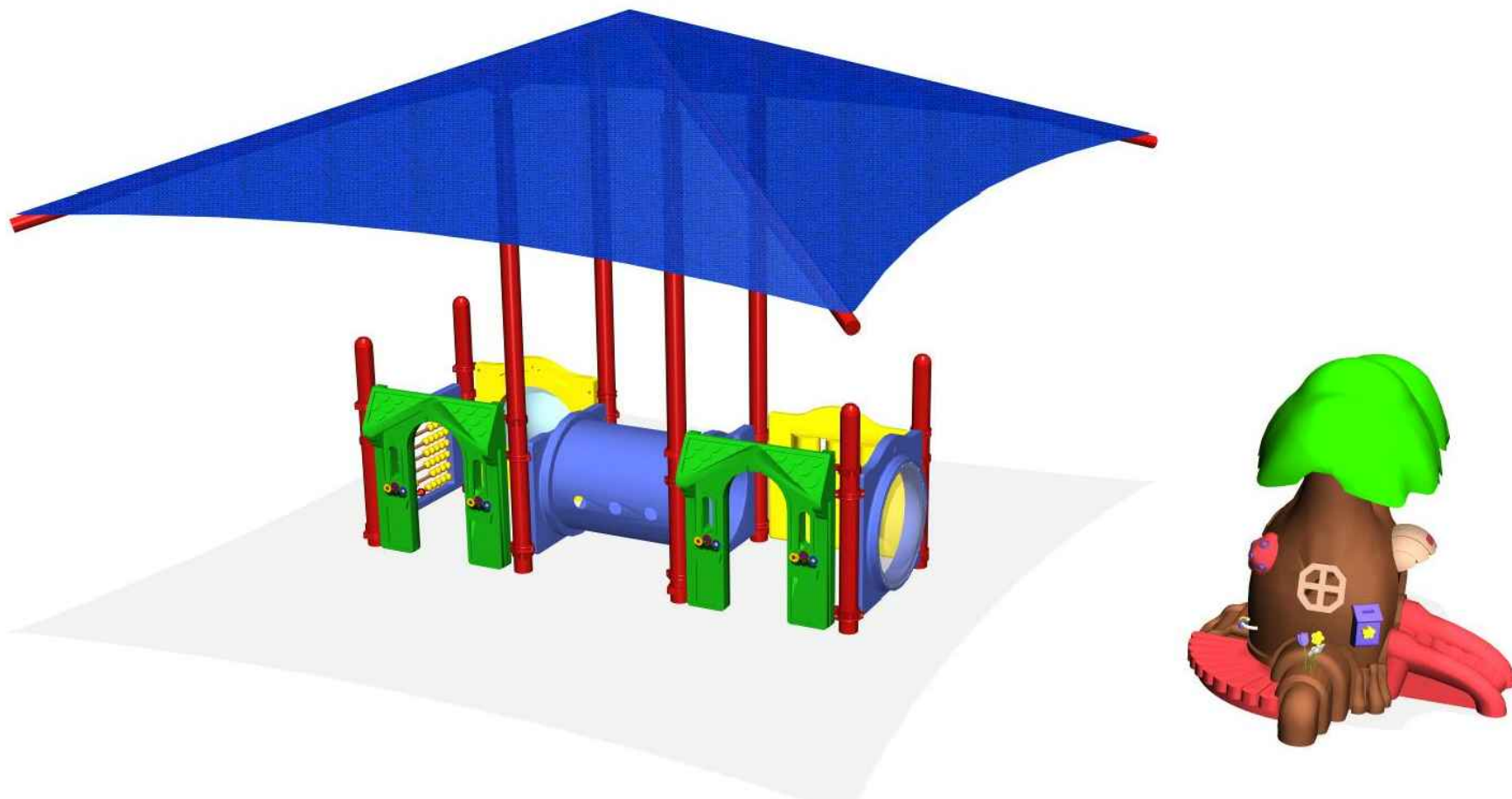
09 INFANT/ TODDLER PLAY STRUCTURE

SCALE: 1/8" = 1'-0"



10 PRESCHOOL PLAY STRUCTURE

SCALE: 1/8" = 1'-0"



11 TODDLER PLAYGROUND RENDERING

SCALE: N.T.S.

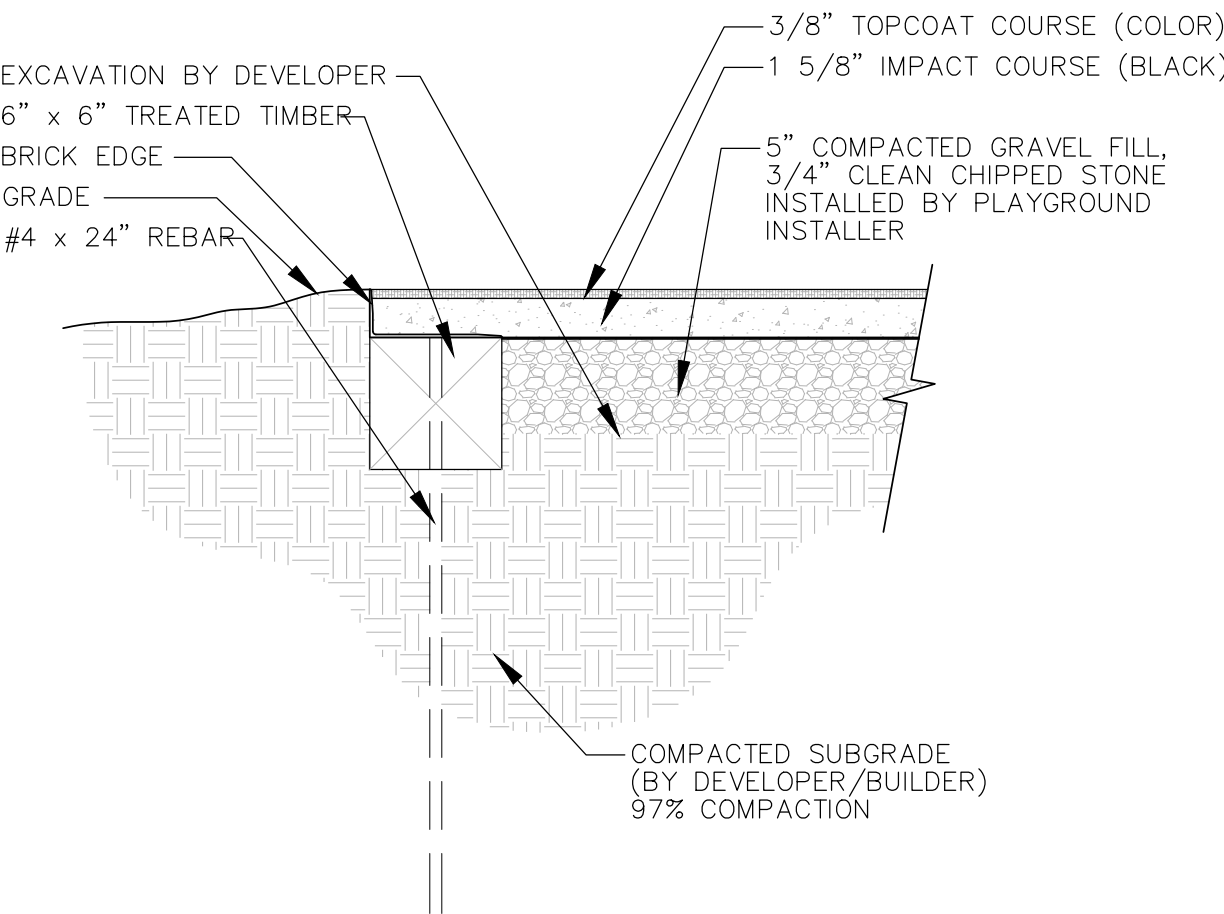


12 PRESCHOOL PLAYGROUND RENDERING

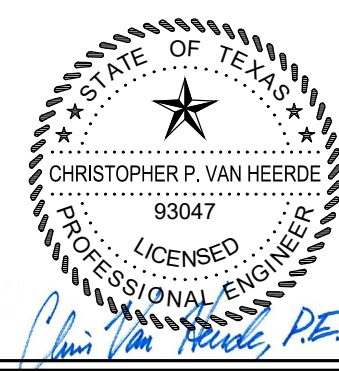
SCALE: N.T.S.

DEVELOPER / GENERAL CONTRACTOR'S
PLAYGROUND RESPONSIBILITIES

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS IF REQUIRED. APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
 2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES.
 3. ELECTRIC AND WATER ARE NEEDED ON SITE, FOR THE PLAYGROUND INSTALLERS USE. IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
 4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPACTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SUITABLE SOIL.
 5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
 6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL. 2/C3.1)
 7. SUB-GRADE BACKFILL MUST BE COMPACTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
 8. INSTALL DRAINAGE SYSTEM TO EXCAVATED PLAYGROUND BOXES PER SITE PLAN. (DTL. 13/C3.1)
 9. ENSURE ADEQUATE AREA FOR PLAYGROUND INSTALLERS. STAGING AREA NEEDED TO UNLOAD AND PRE-ASSEMBLE APPROX. 1,000 CUBIC FOOT SHIPMENT OF PLAYGROUND EQUIPMENT. HOLDING AREA NEEDED TO RECEIVE DELIVERY OF APPROXIMATELY 40-50 TONS OF CRUSHED STONE. PARKING AREA NEEDED FOR TWO TRUCKS AND ONE 30' TRAILER OF EXCAVATING EQUIPMENT.
 10. IN ORDER TO AVOID POSSIBLE DAMAGE, PARKING LOTS SHOULD NOT HAVE TOPCOAT APPLIED AND FENCING SHOULD NOT BE INSTALLED UNTIL PLAYGROUND IS COMPLETE. IF FENCING IS INSTALLED, LEAVE OUT NECESSARY SECTIONS TO PROVIDE ACCESS TO PLAYGROUND AREA.
 11. ONCE COMPACTED CRUSH STONE BASE, BORDER, AND EQUIPMENT ARE IN PLACE, THEY SHOULD NOT BE DRIVEN OR WALKED ON AND SHOULD NOT BE USED FOR STORAGE AREA.
 12. PLAYGROUND INSTALLATION DESCRIBED ABOVE SHOULD TAKE APPROXIMATELY ONE TO FIVE DAYS, DEPENDING ON SITE CONDITIONS, WEATHER, INSTALLER CREW SIZE, ETC.
 13. INSTALLATION OF POUR-IN-PLACE SURFACING USUALLY TAKES PLACE ONE TO TWO WEEKS AFTER PLAYGROUND IS INSTALLED, DEPENDING MAINLY ON WEATHER CONDITIONS.
 14. GENERALLY ONLY THREE OR FOUR PARKING SPACES ARE NEEDED FOR SURFACING INSTALLERS. (ONE OR TWO VEHICLES AND A MIXER STAGING AREA)
 15. TYPICALLY, TWO MEN MIX THE SURFACING PRODUCT IN THE PARKING LOT AND TRANSPORT BY WHEELBARROW TO PLAYGROUNDS WHERE IT IS POURED AND TROWELED. THEREFORE, NO SPECIAL ALLOWANCES ARE NECESSARY (FENCING CAN BE INSTALLED AND FINISH LANDSCAPING CAN BE COMPLETED)
 16. THIS IS USUALLY A TWO-DAY INSTALLATION, DEPENDING MAINLY ON WEATHER CONDITIONS. IMPACT COURSE APPLIED ON DAY ONE, AND TOPCOAT (COLOR) APPLIED ON DAY TWO.
 17. ONCE THE TOPCOAT APPLICATION IS COMPLETE, THE BINDING AGENTS WILL TAKE A MINIMUM 24 HOURS TO CURE. DURING THAT TIME THERE IS TO BE ABSOLUTELY NO WALKING ON, PLACING OBJECTS ON, OR ALLOWING ANY DUST TO ACCUMULATE ON THE TOPCOAT SURFACE.
 18. FINISH GRADING AND LANDSCAPING MUST BE THE SAME ELEVATION AT THE PLAYGROUND BORDERS.
 19. ENSURE THAT THE SITE IS SECURE AND THAT OTHER CONTRACTORS WILL NOT BE STORING, WORKING, WALKING, ETC. ON FINISHED PLAYGROUNDS, SURFACES OR BORDERS.
- GENERAL NOTES:**
DEVELOPER/GENERAL CONTRACTOR SHOULD BE IN CONSTANT COMMUNICATION WITH GSI TO SCHEDULE DELIVERY AND INSTALLATION OF THE PLAYGROUND STRUCTURES. PLAYGROUND INSTALLERS TRAVEL LONG DISTANCES AND IT IS IMPERATIVE THE SITE IS PROPERLY PREPARED AS SPECIFIED TO AVOID COSTLY MOBILIZATION, SHIPPING AND STORAGE FEES.
- GSI'S PLAYGROUND INSTALLERS TRAVEL GREAT DISTANCES, INCURRING EXPENSES FOR BOTH TRANSPORTATION AND LODGING. IN ADDITION THEY ARE REQUIRED TO RESERVE RENTAL MACHINERY. IF THEY ARE TURNED AWAY BECAUSE THE SITE IS NOT READY, A TRAVEL CHARGE WILL APPLY. THIS CHARGE COULD BE SIGNIFICANT (\$50.00 PER MAN-HOUR FOR A CREW OF FIVE, LODGING AT \$175 PER ROOM PER NIGHT, AND EQUIPMENT RENTAL DEPOSITS). THEREFORE, FOLLOWING ALL OF THE ABOVE GUIDELINES, ESPECIALLY WITH RESPECT TO DISCLOSING EXCESSIVELY ROCKY CONDITIONS, PROHIBITING THE USE OF LARGE ROCKS, CEMENT, ETC. IN BACKFILL MATERIALS, AND PROVIDING THE PROJECT MANAGER AN ACCURATE TIMELINE, WILL SAVE BOTH MONEY AND TIME.



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



07/30/2020

PLAYGROUND DETAILS
VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

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New Braunfels Utilities	830-629-8400
Time Warner Cable	830-625-3408
Centerpoint Gas	830-643-6434
Robert Sanders	830-643-6903
Damaged Lines	888-876-5786
AT&T Telephone	830-303-1333
Eric White PM	210-283-1706
Scott McBrearty (Construction)	210-558-4886
Texas One Call	830-545-6005

CALL CENTER POINT ENERGY LOCATOR AT 1-800-545-6005, 48HRS BEFORE BEGINNING ANY EXCAVATION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CENTER POINT ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

THE EXISTENCE AND

BEST RECORDS AVAILABLE AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR TO CONTACT THE TELEPHONE COMPANY CABLE LOCATOR 48HRS PRIOR TO EXCAVATION AT 1-800-545-6005., CONTRACTOR HAS THE RESPONSIBILITY TO PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR TRENCH EXCAVATION SAFETY PROTECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, DEVELOPMENT, IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT SHALL BE RESPONSIBLE FOR THE STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

1. CONTRACTOR TO COORDINATE WITH NEW BRAUNFELS UTILITIES (N.B.U.) FOR WATER, SEWER, AND ELECTRIC SERVICE TO THE SITE.

2. ALL IN-LINE VALVES, BENDS & PLUGS SHALL BE RESTRAINED, RESTRAINT TO BE PROVIDED ON EACH SIDE OF THE VALVE, FITTING OR ANY REQUIRED JOINT.

3. RL =RESTRAINT LENGTH

4. CONTRACTOR SHALL DETERMINE RESTRAINT LENGTH REQUIRED FOR HORIZONTAL VERTICAL FITTINGS BASED ON RESTRAINT LENGTH TABLE SHOWN BELOW.

RESTRAINED LENGTH FOR PIPE												
PIPE INSIDE DIAMETER	MATERIAL	HORIZONTAL BENDS				VERTICAL BENDS						DEAD END/ INCLINE VALVES
						UPPER			LOWER			
		90°	45°	22.5°	11.25°	45°	22.5°	11.25°	45°	22.5°	11.25°	
8"	PVC	32	14	7	4	37	18	9	10	5	3	88
8"	DUCTILE IRON	27	11	6	3	33	16	8	12	6	3	56
12"	PVC	45	19	9	5	52	25	13	14	7	4	124

LENGTHS SHOWN ABOVE WERE COMPUTED BASED ON THE FOLLOWING VALUES:

TEE			
PIPE INSIDE DIAMETER OF RUN	PIPE INSIDE DIAMETER OF BRANCH	MATERIAL	FT.
8"	8"	PVC	77
8"	8"	DUCTILE IRON	50
12"	8"	PVC	72

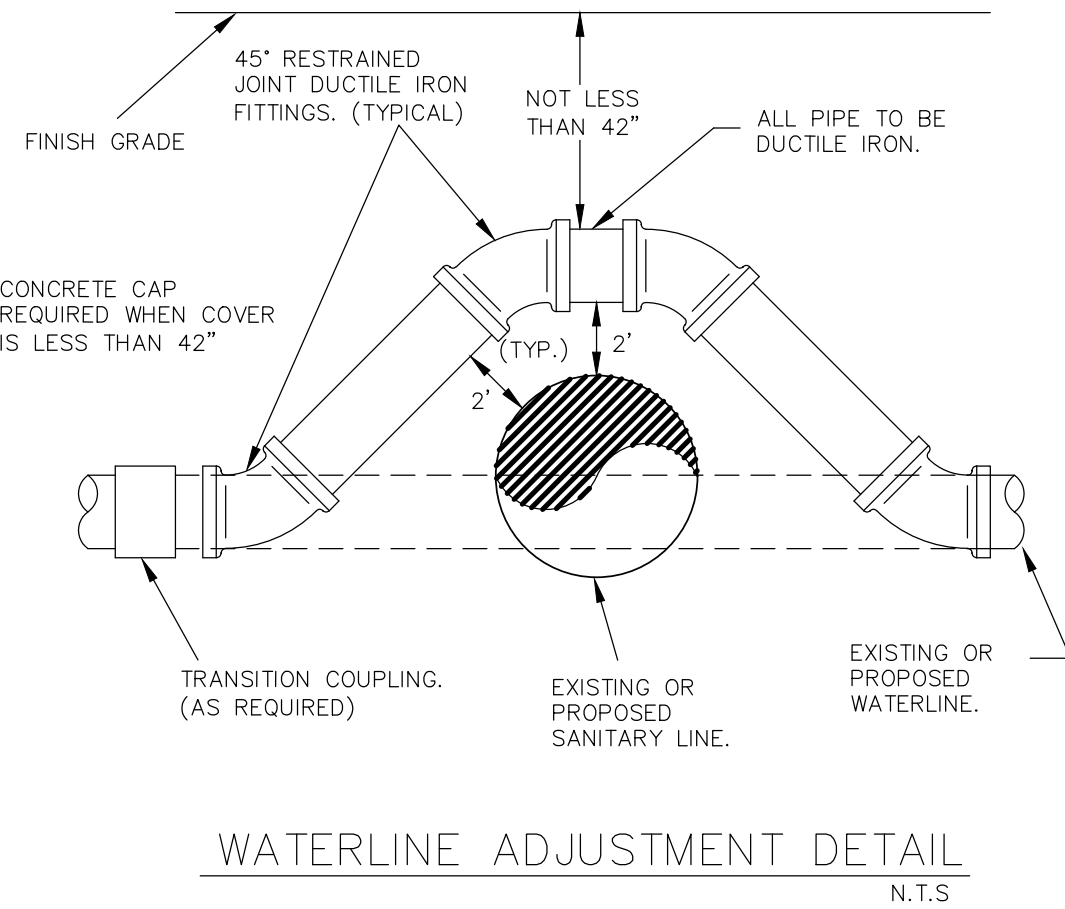
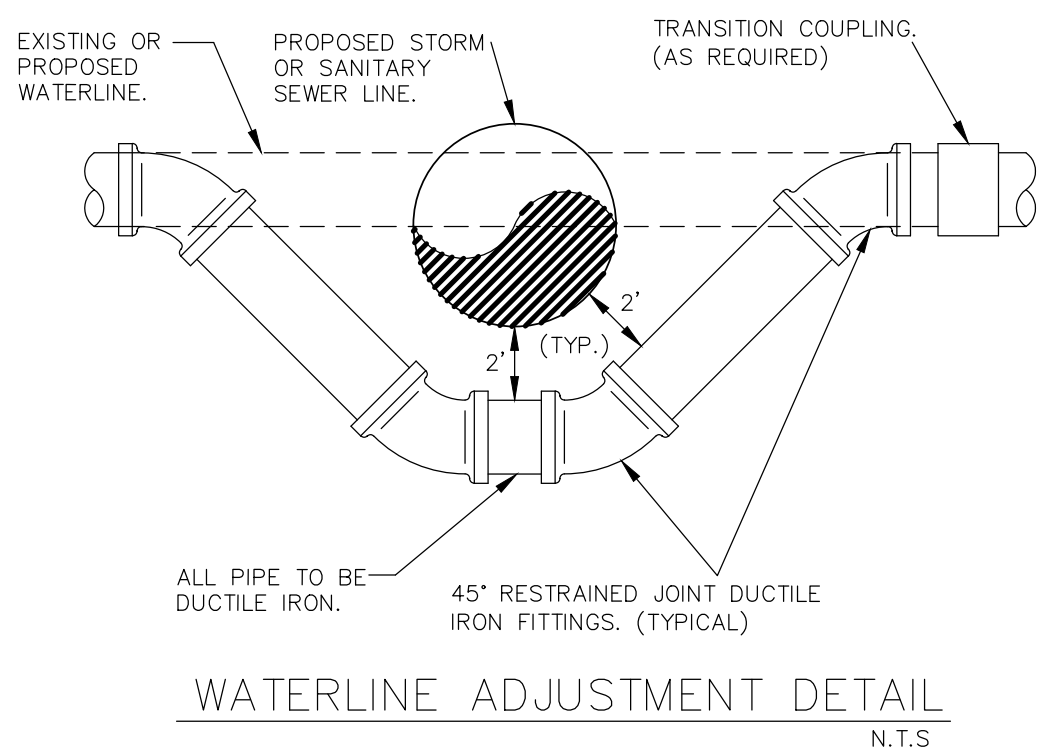
- 1) SAFETY FACTOR = 1.5 TO 1
- 2) TEST PRESSURE = 200psi.
- 3) SOIL DESIGNATION = IN ORGANIC CLAY OF HIGH PLASTICITY
- 4) DEPTH OF COVER = 3.5 FEET (TYPICAL AND UPPER BEND)
- 5) DEPTH OF COVER = 5 FEET (LOWER BEND)
- 6) LENGTH ALONG RUN = 2 FEET

REVISÉ 3/31/11

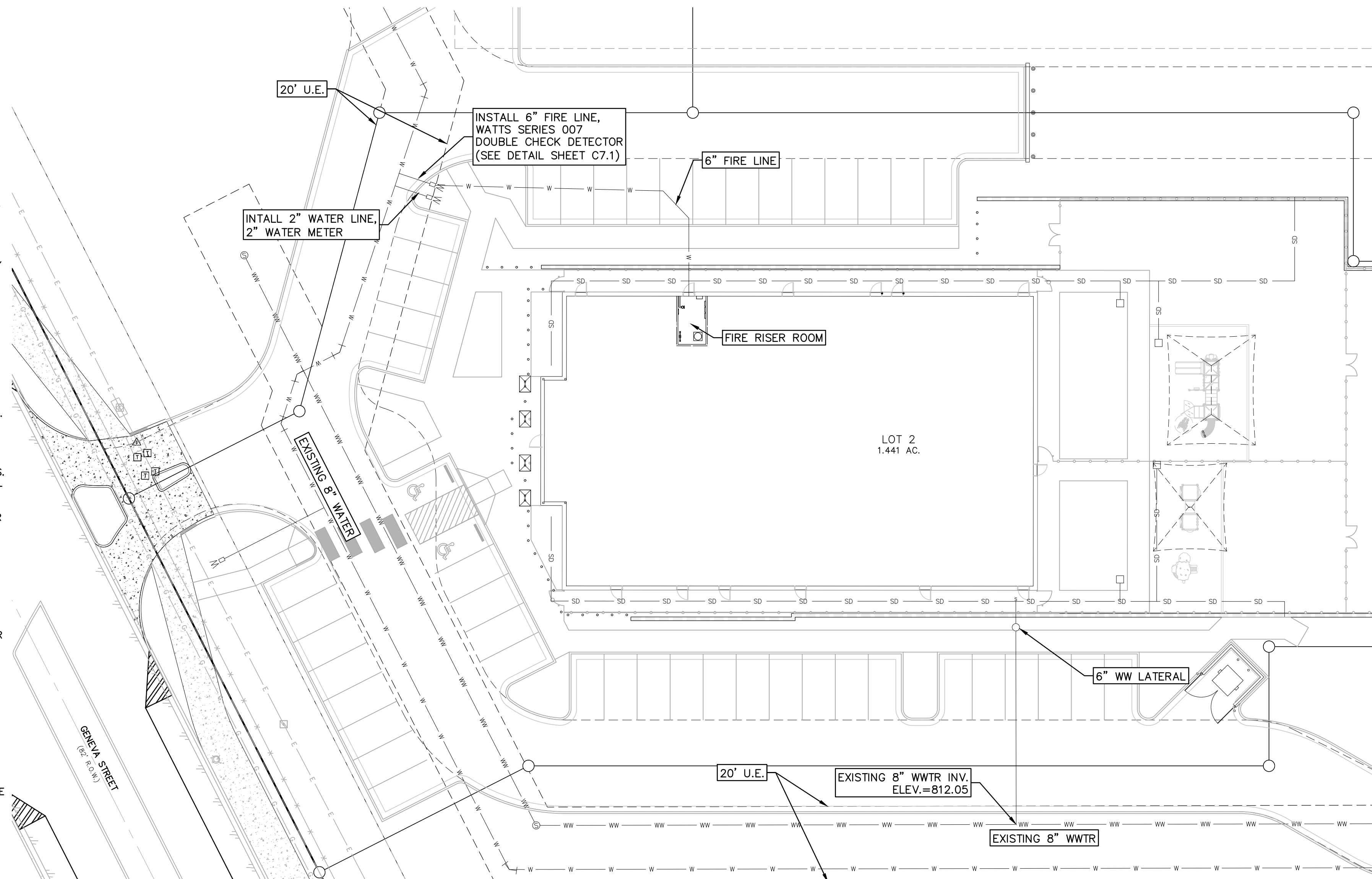
1. THE CONTRACTOR SHALL MAINTAIN SERVICE TO EXISTING WASTEWATER SYSTEM AT ALL TIMES DURING CONSTRUCTION.
2. A MINIMUM OF 8" WASTEWATER PIPE AND FITTING (P.V.C. SDR-26, ASTM, D-3034, D-3212, F-477) ARE REQUIRED ON NEW INSTALLATION.
3. ALL RESIDENTIAL WASTEWATER SERVICE LATERALS SHALL BE EXTENDED TO THE PROPERTY LINE AND A CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE. SERVICES TO LOTS WILL EXTEND FOUR (4) FEET PAST THE UNDERGROUND ELECTRIC CONDUIT IF ELECTRIC IS INSTALLED IN THE FRONT EASEMENT.
4. PIPE BEDDING OF WASTEWATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SPECIFICATIONS.
5. SECONDARY BACKFILL OF WASTEWATER LINES SHALL GENERALLY CONSIST OF MATERIALS REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH, NO ROCKS OR STONES HAVING ANY DIMENSION LARGER THAN 6 INCHES AT THE LARGEST DIMENSION.
6. ALL WASTEWATER PIPES SHALL HAVE COMPRESSION OR MECHANICAL JOINTS AS PER 30 TAC §217.53 (C) (2).
7. FOR WASTEWATER LINES LESS THAN 24" IN DIAMETER, SELECT INITIAL BACKFILL MATERIAL SHALL BE PLACED IN TWO LIFTS:
 - a. THE FIRST LIFT SHALL BE SPREAD UNIFORMLY AND SIMULTANEOUSLY ON EACH SIDE AND UNDER THE SHOULDERS OF THE PIPE TO THE MID POINT OR SPRING LINE OF THE PIPE.
 - b. THE SECOND LIFT SHALL BE PLACED TO A DEPTH AS SHOWN ON THE PIPE BACKFILL DETAIL. FOR PIPES LARGER THAN 24" IN DIAMETER, THE SECOND LIFT SHALL BE USED.
8. ALL MANHOLES MUST BE WATER TIGHT. THEIR CONSTRUCTION SHALL BE IN-PLACE CONCRETE STRUCTURES OR PREFABRICATED MANHOLES SPECIFICALLY APPROVED BY NBU. THE MANHOLES SHALL HAVE WATER-TIGHT RINGS AND COVERS. WHEREVER THEY ARE WITHIN THE 100 YEAR FLOODPLAIN, THE MANHOLE COVERS SHALL BE BOLTED. EVERY THIRD MANHOLE IN SEQUENCE SHALL HAVE AN ALTERNATE MEANS OF VENTING. 30 TAC §217.55 (C)(5)(A) AND 30 TAC §217.55 (C)(6).
9. ALL MANHOLES SHALL BE CONSTRUCTED SO THAT THE TOP OF THE RING IS TWO INCHES (2") ABOVE SURROUNDING GROUND EXCEPT WHEN LOCATED IN PAVED AREA. IN PAVED AREAS, THE MANHOLE RING SHALL BE FLUSH WITH PAVEMENT.
10. ALL NEW MANHOLES, UNLESS APPROVED BY NBU ENGINEERING, ARE TO HAVE COVERS WITH 32" OPENINGS.
11. WASTEWATER PIPE CONNECTIONS TO PRE-CAST MANHOLES WILL BE COMPRESSION JOINTS OR MECHANICAL "SOOT TYPE" JOINT AS APPROVED BY NBU.
12. WASTEWATER LINES SHALL BE TESTED FROM MANHOLE TO MANHOLE.
13. IN AREAS WHERE A NEW WASTEWATER MANHOLE IS TO BE CONSTRUCTED OVER AN EXISTING WASTEWATER SYSTEM, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TEST THE EXISTING MANHOLES BEFORE CONSTRUCTION. AFTER THE PROPOSED MANHOLE(S) HAS BEEN BUILT, THE CONTRACTOR SHALL RE-TEST THE EXISTING SYSTEM TO THE SATISFACTION OF THE CONSTRUCTION INSPECTOR. (NO SEPARATE PAY ITEM)
14. WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH TCQ. THE WASTEWATER LINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING THE ASTM SPECIFICATION FOR BOTH PIPES AND JOINTS OF 150 PSI AND SHALL BE IN ACCORDANCE WITH TCQ §217.53 (3) (A).
15. NO TESTING WILL BE PERFORMED PRIOR TO 30 DAYS FROM COMPLETE INSTALLATION OF THE WASTEWATER LINES. THE FOLLOWING SEQUENCE WILL BE STRICTLY ADHERED TO:
 - a. PULL MANDREL
 - b. PERFORM AIR TEST
 - c. CLEANING OF ANY DEBRIS
 - d. FLUSHING OF SYSTEM
 - e. TV INSPECTION (WITHIN 72 HOURS OF FLUSHING)
16. A MINIMUM OF 3 FEET OF COVER IS TO BE MAINTAINED OVER THE WASTEWATER MAIN AND LATERALS AT SUBGRADE. OTHERWISE, CONCRETE ENCASEMENT WILL BE REQUIRED.
17. WASTEWATER MAIN CONSTRUCTION SHALL BE DONE DIRECTLY TO EXISTING MANHOLES WILL REQUIRE SUCCESSFUL TESTING OF THE MANHOLE IN ACCORDANCE WITH NBU CONNECTION & CONSTRUCTION POLICY MANUAL.
18. TCQ AND EPA REQUIRE EROSION AND SEDIMENTATION CONTROL FOR CONSTRUCTION OF WASTEWATER COLLECTION SYSTEMS. DEVELOPER OR AUTHORIZED REPRESENTATIVE SHALL PROVIDE EROSION AND SEDIMENTATION CONTROL MEASURES ON THE PROJECT'S PLAN AND PROFILE SHEETS. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY NBU WATER SYSTEMS.
19. ALL MANHOLES NOT WITHIN PAVED STREETS SHALL HAVE LOCKING CONCRETE COLLAR TO SECURE RING AND COVER TO MANHOLE COVER PER NBU DETAIL DRAWING #329.
20. ALL MANHOLES LOCATED OUTSIDE OF PAVED STREETS SHALL HAVE LOCKING CONCRETE COLLAR TO SECURE RING AND COVER TO MANHOLE COVER PER NBU DETAIL DRAWING #329.

1. ALL WATER MAINS SHALL BE AWWA C900 (CLASS 150 OR GREATER)
2. WATER SERVICES SHALL BE SINGLE 1" COPPER TUBING.
3. WATER LINE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY MANUAL.
4. WATER MAIN SHALL HAVE A MINIMUM OF 42 INCHES OF COVER, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
5. EACH UNIT IN A DUPLEX, TRIPLEX, FOURPLEX, OR CONDOMINIUM SHALL BE PROVIDED WITH AN INDIVIDUAL WATER METER. A WATER METER CAN BE CONSIDERED FOR SEPARATE BUILDINGS, HOWEVER, THOSE BUILDINGS MUST BE PLUMBED TO ALLOW SEPARATE METERS FOR FUTURE CONSIDERATION.
6. CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
7. INITIAL BACKFILL OF WATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
8. SECONDARY BACKFILL OF WATER LINES SHALL GENERALLY CONSIST OF MATERIAL REMOVED FROM THE UNDERLYING SITE OR MATERIAL THAT IS CLEAN, FREE OF DEBRIS AND TRASH OR STONES HAVING ANY DIMENSION LARGER THAN 6" INCHES AT THE LARGEST DIMENSION.
9. HYDROSTATIC TESTING IS DONE FROM VALVE TO VALVE.
10. NO METER BOXES TO BE SET IN DRIVEWAYS OR SIDEWALKS; ANY METER BOXES SET IN DRIVEWAYS OR SIDEWALKS SHALL BE SET AT OR BELOW FINISHED GRADE AT OWNER'S DEVELOPER'S EXPENSE.
11. METER BOXES MUST BE SET AT THE PROPOSED GRADE; ANY METER BOXES THAT ARE NOT SET AT THE FINAL GRADE WILL BE ADJUSTED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
12. ACCEPTABLE METER BOXES ARE D13-BAMR AND D15-BAMR. NEW RESIDENTIAL LOTS ARE REQUIRED TO USE THE D15-BAMR METER BOXES (USE THE D15-BAMR METER BOXES TO DETERMINE WHICH BOX APPLIES TO THE DOMESTIC AND/OR IRRIGATION METER LAYOUT).
13. THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO THE NBU PLANNING DEPARTMENT FOR REVIEW.
14. CONTRACTOR SHALL PLACE TRACER WIRE ON TOP OF THE WATER MAINS. TRACER WIRE SHOULD RUN FROM VALVE TO VALVE AND EXIT AT THE VALVE BOX. THE TRACER WIRE SHOULD BE ATTACHED TO THE TOP OF THE PIPE USING TAPE. EXCESS WIRE SHOULD BE LEFT WITHIN VALVE BOXES TO BE PLACED ON TOP OF COVER LID.
15. WATER QUALITY SHALL BE PROTECTED WITH APPROPRIATE BACKFLOW PREVENTION ASSEMBLIES INSTALLED ON ALL IRRIGATION SYSTEMS, FIRE SUPPRESSION SYSTEMS AND MULTI-UNIT COMPLEXES ALONG WITH MULTI-LEVEL PROPERTIES. THE DOMESTIC METER CONTAMMENT, NBU CAN ASSIST WITH THE DECISION ON THE APPROPRIATE BACKFLOW PREVENTION ASSEMBLY. CONTRACTOR SHALL CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM.
16. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED UPON INSTALLATION AND REPORT SENT TO DUSTIN BAKER OR CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM.
17. ALL RESIDENTIAL AND COMMERCIAL PROPERTIES SHALL HAVE A CUSTOMER SERVICE INSPECTION CERTIFICATE (CSI INSPECTION) COMPLETED UPON COMPLETION OF THE BUILDING OR HOME STRUCTURE. CONTRACTOR SHALL CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM.

ALL UTILITY TRENCH COMPACTATION TESTS WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/S GEO-TECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") DEEP. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH THE NEW BRUNSWICK DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS. THE QUALITY OF THE COMPACTED MATERIAL SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRUNSWICK STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 100LF FOR EACH LIFT. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRUNSWICK STREET INSPECTOR WITH ALL TEST RESULTS AND A WRITTEN STATEMENT STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.









WATR/WWTR QUANTITIES
54 LF 6" PVC SEWER LATERAL
10 LF 2" WATER LATERAL
1-2" TAPPING SLEEVE
1-2" METER ASSEMBLY
104 LF 6" FIRE LINE
1-6" TAPPING SLEEVE
2-45' 6" BENDS
14 LUES



REFER TO THE COVER SHEET
-FOR BENCHMARK INFORMATION.

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	EXISTING CONTOURS
	PROPOSED CONTOURS
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED WATER SERVICE LINE
	UTILITY CROSSING

UTILITY NOTES:

1. ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS.
2. NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS OR DRIVEWAYS.
3. THIS SITE IS IN THE KERLICK PRESSURE ZONE ACCORDING TO NEW BRAUNFELS UTILITIES PRESSURE RECORDER LOCATIONS.
4. CONTRACTOR TO VERIFY EXISTING LATERAL HAS A MINIMUM LENGTH OF 10' TO 12' ± 2%.
5. POINT OF DELIVERY SHALL BE IN ACCORDANCE WITH NBU WATER AND WASTEWATER DESIGN CRITERIA MANUAL, SECTION 2.3.0.

2290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



07/30/2020

UTILITY PLAN

VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

[illegible]

DATE: JULY 2020

DRAWN BY: JAD

DESIGNED BY: SMIN

REVIEWED BY: CVP

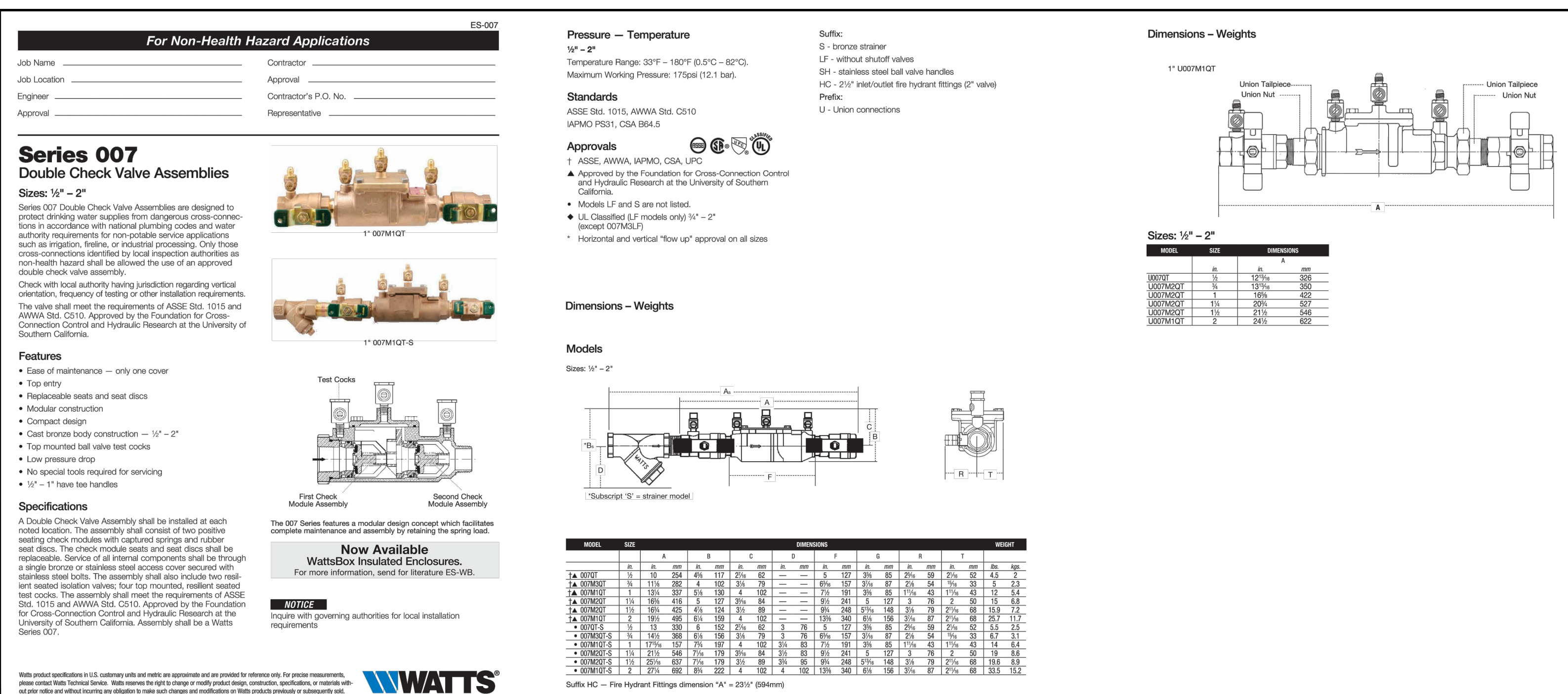
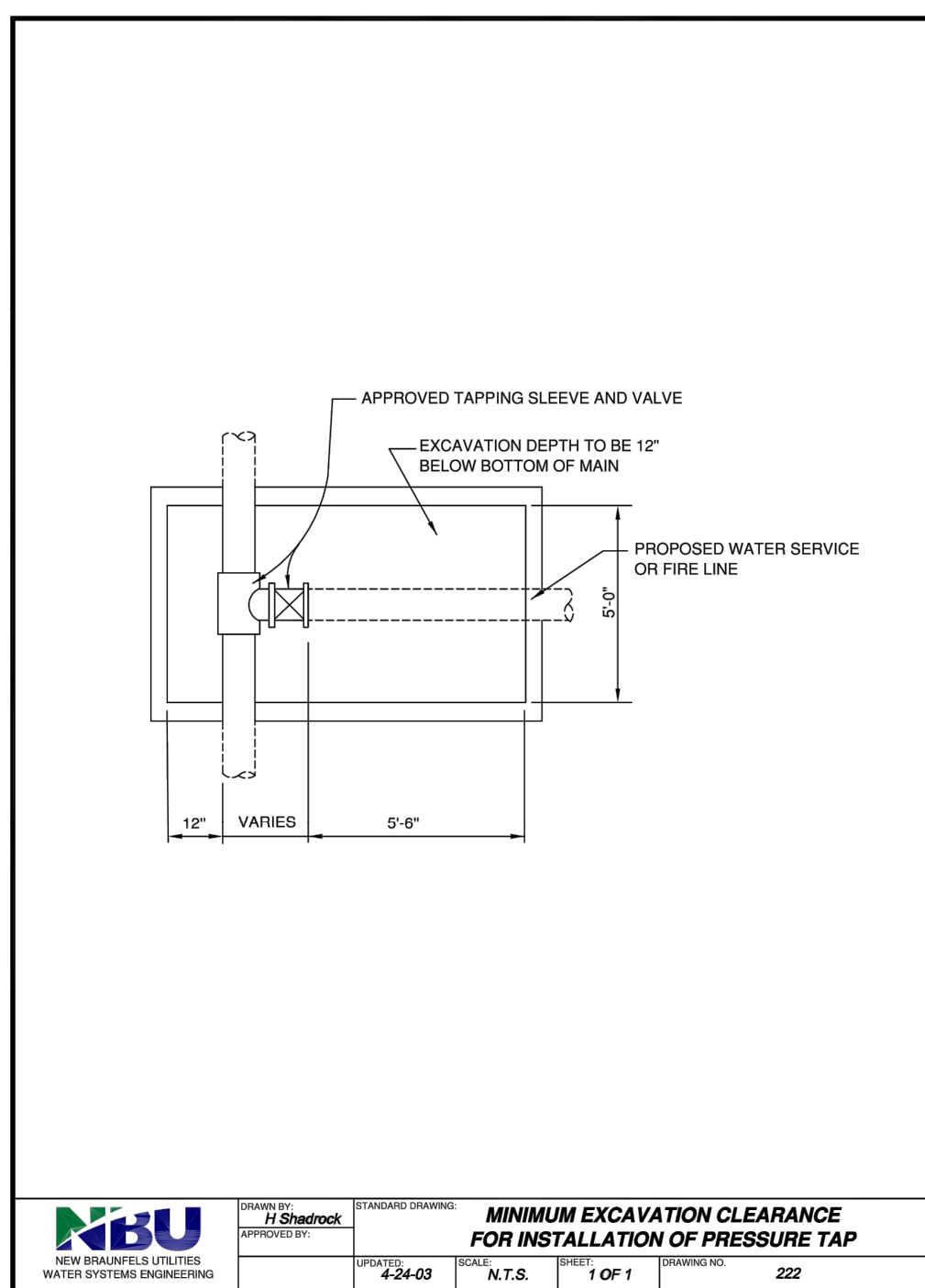
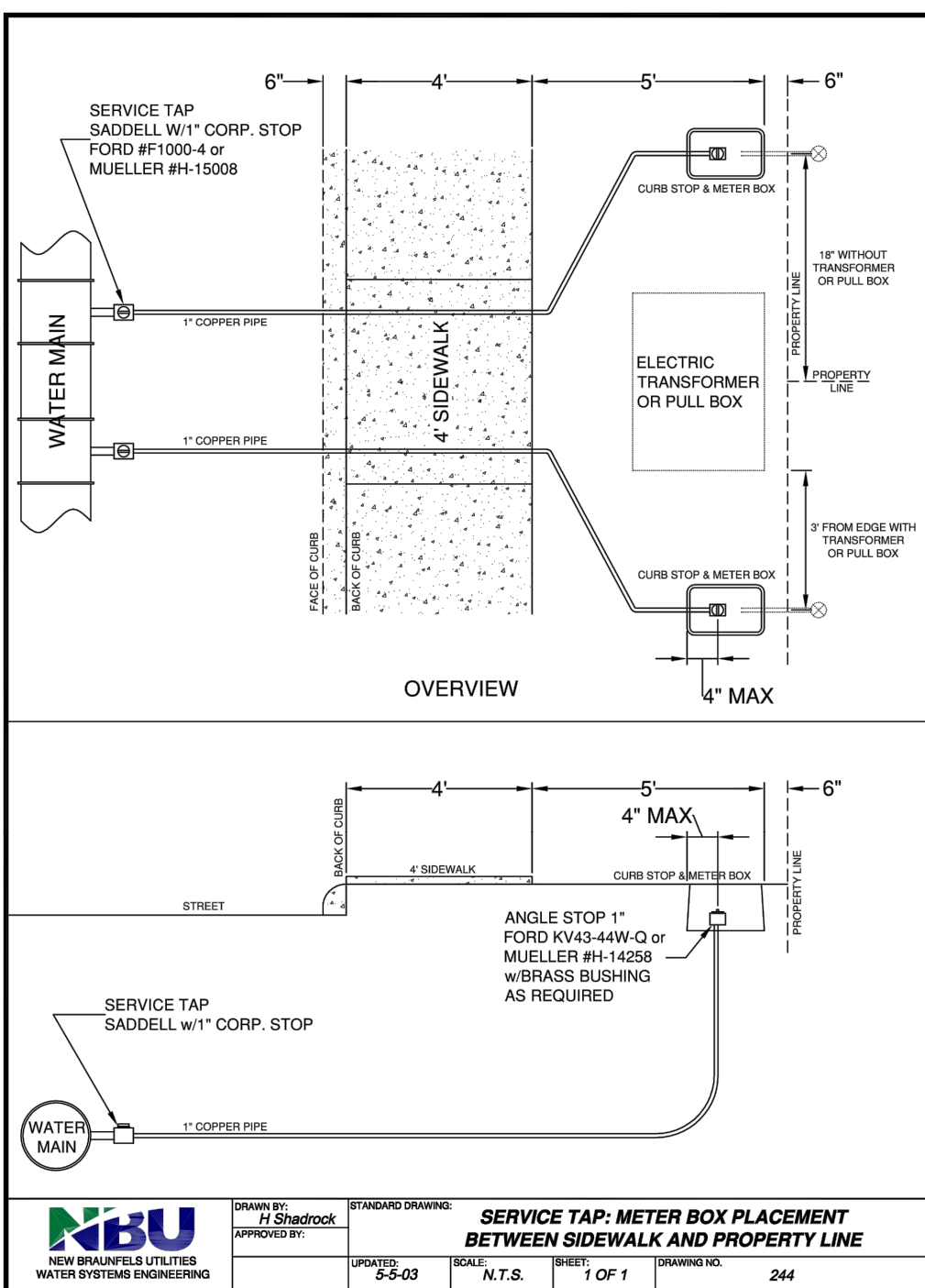
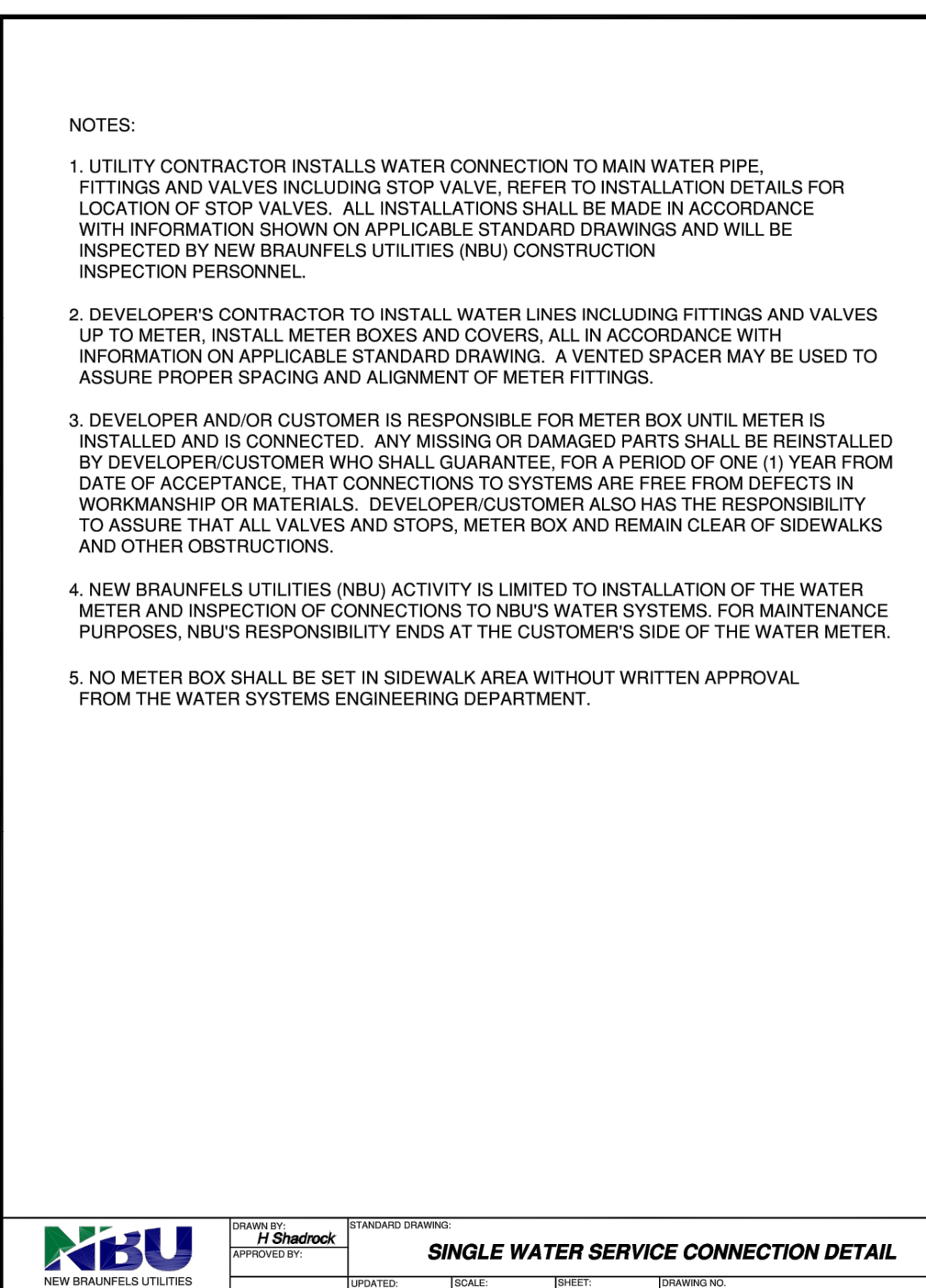
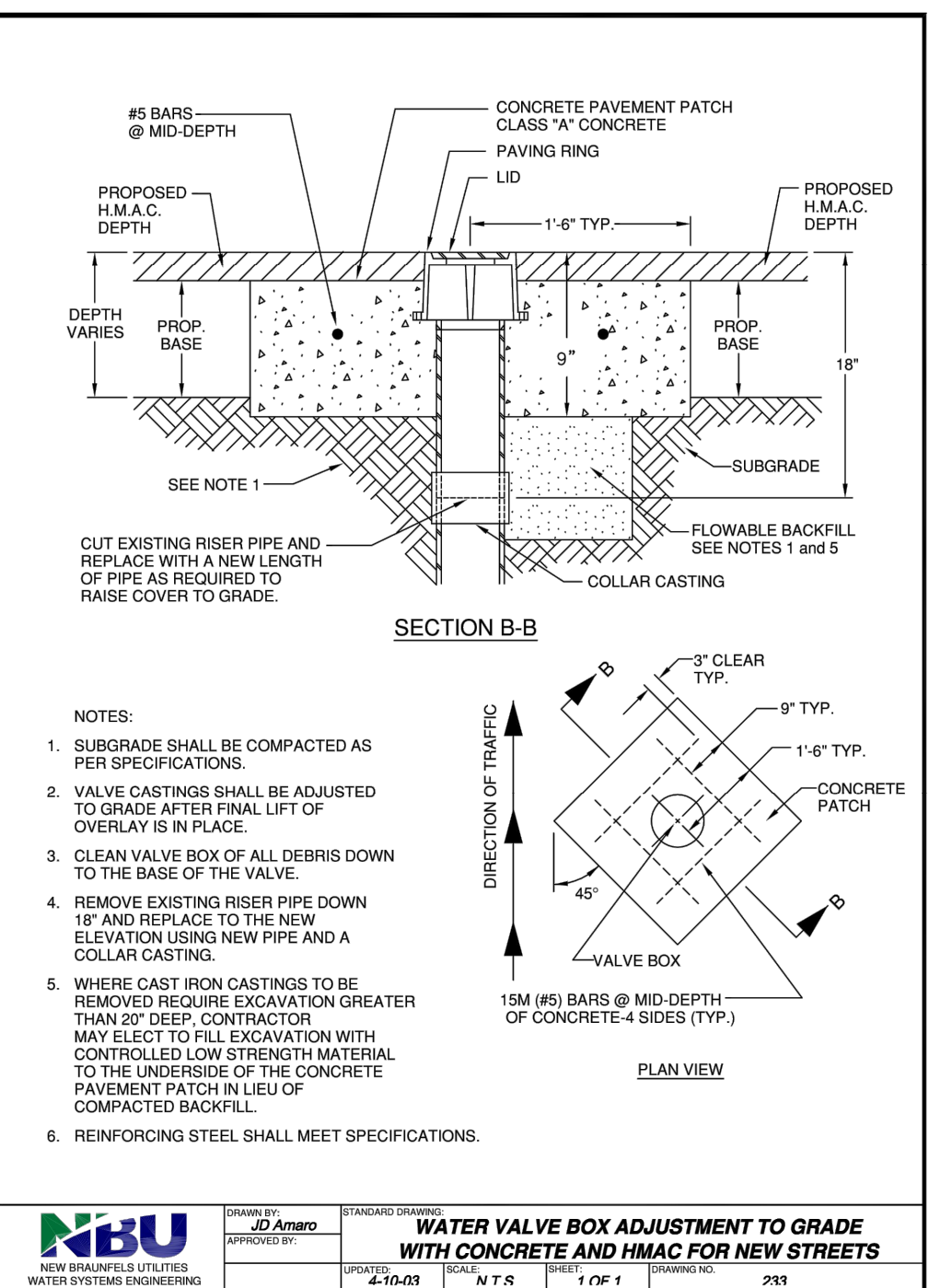
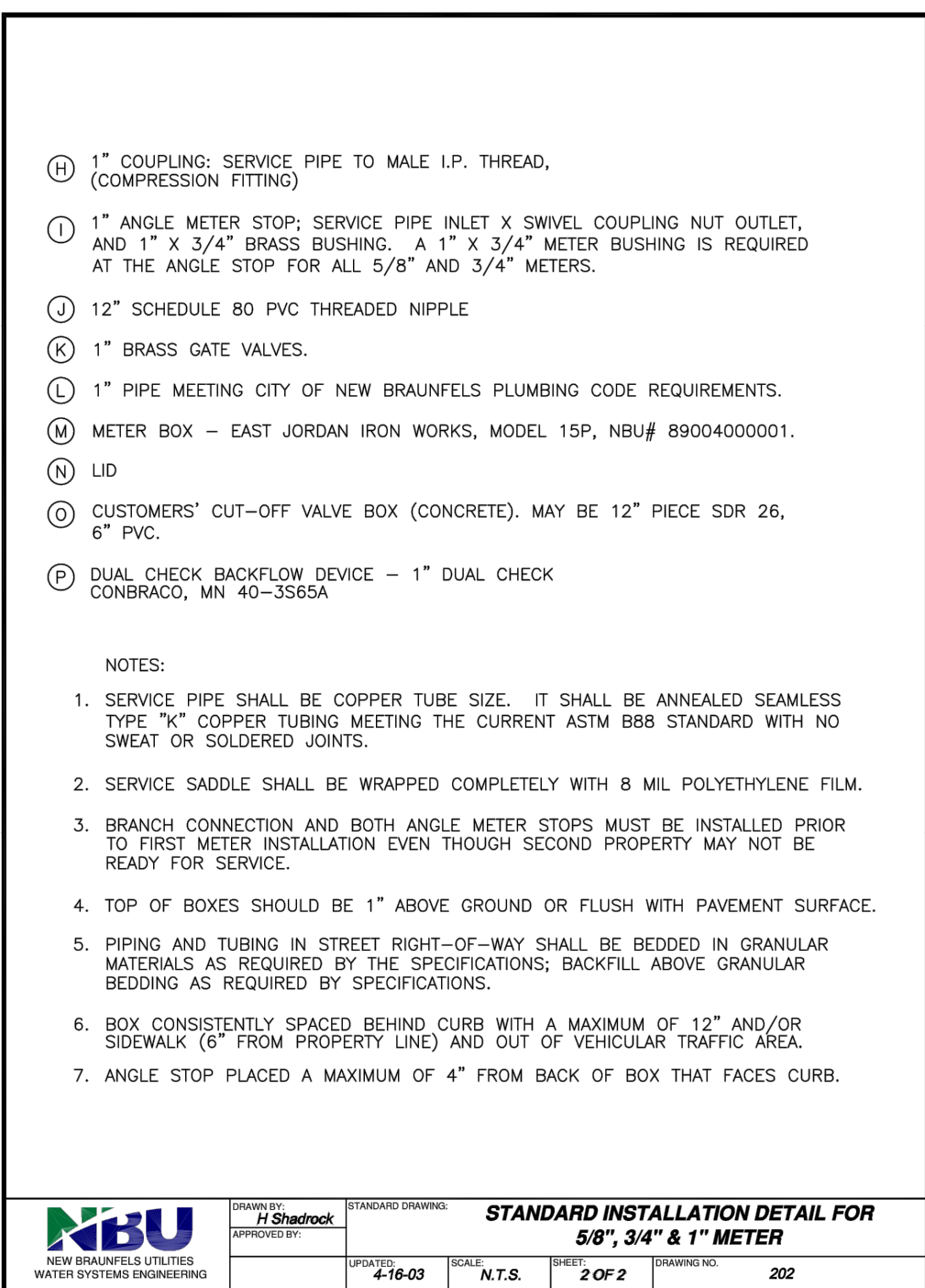
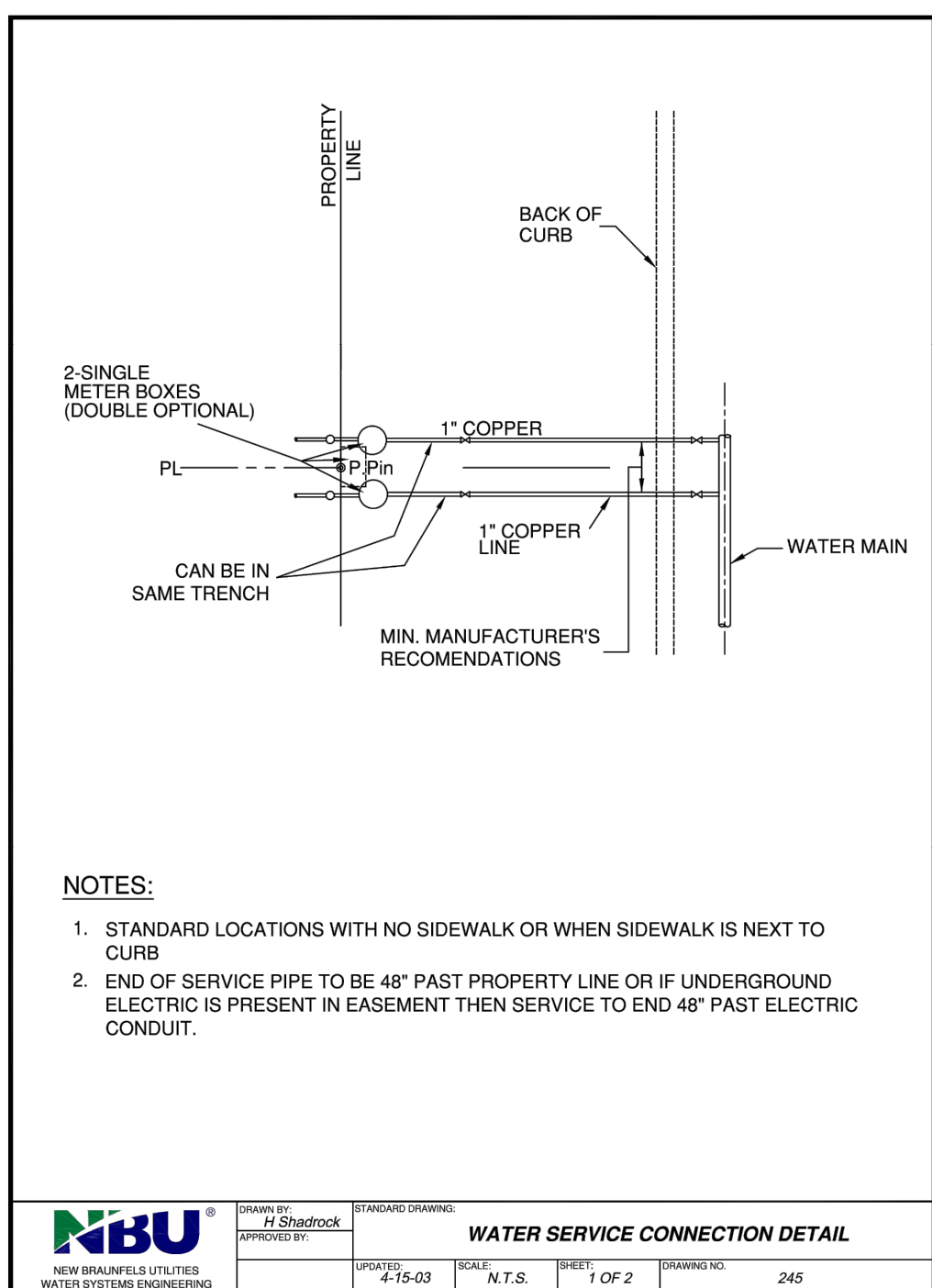
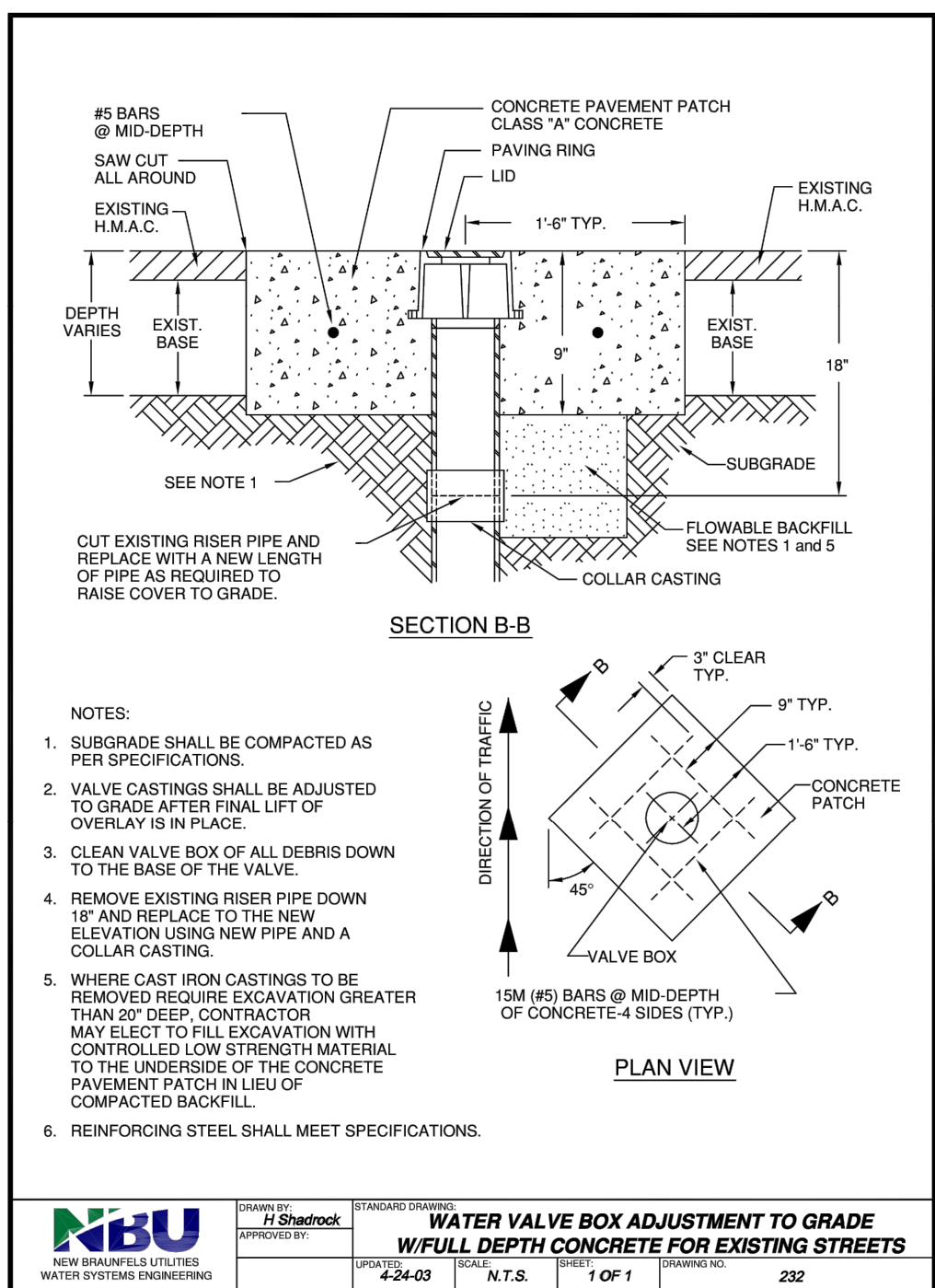
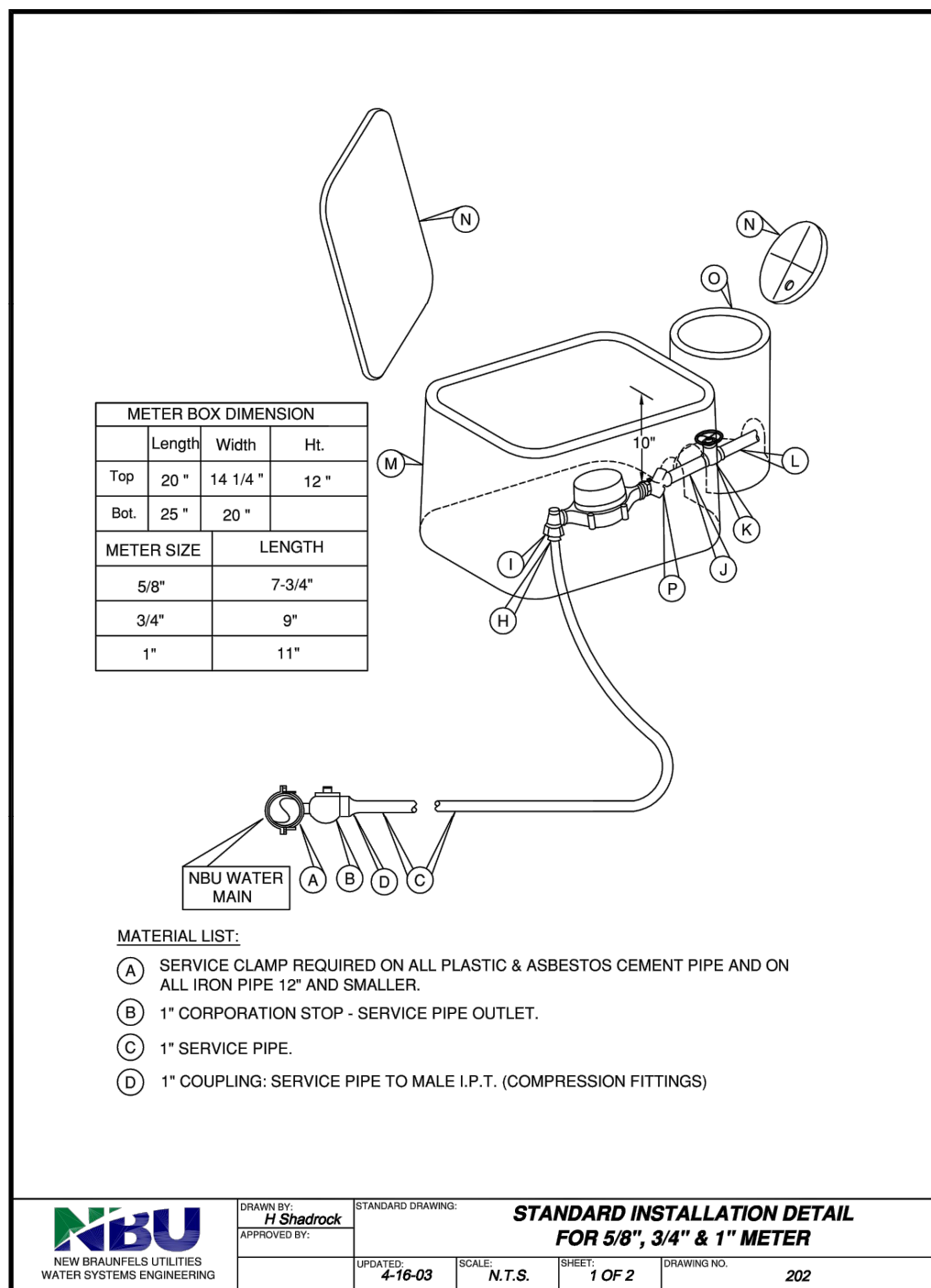
PROJECT NO.:

216.028

SHEET

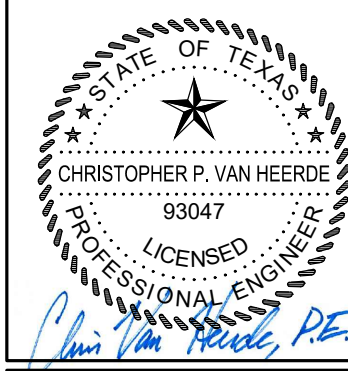
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- UTILITY NOTES:
- ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS.
 - NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS OR DRIVEWAYS.

290 S. CASTELL AVE., STE. 100
 NEW BRAUNFELS, TX 78130
 TBPE FIRM F-10961
 TBPLS FIRM 1053600



07/30/2020

WATER DETAILS

**VERAMENDI GODDARD SCHOOL
 NEIGHBORHOOD RETAIL**

REVISION	DESCRIPTION	DATE
NO.		

DATE: JULY 2020

DRAWN BY: JAD

DESIGNED BY: JMM

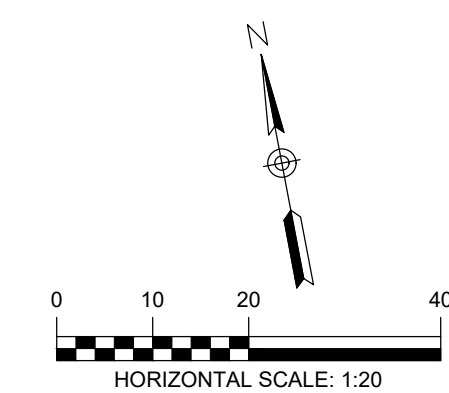
REVIEWED BY: CVH/SWH

HMT PROJECT NO.:

216.028

SHEET

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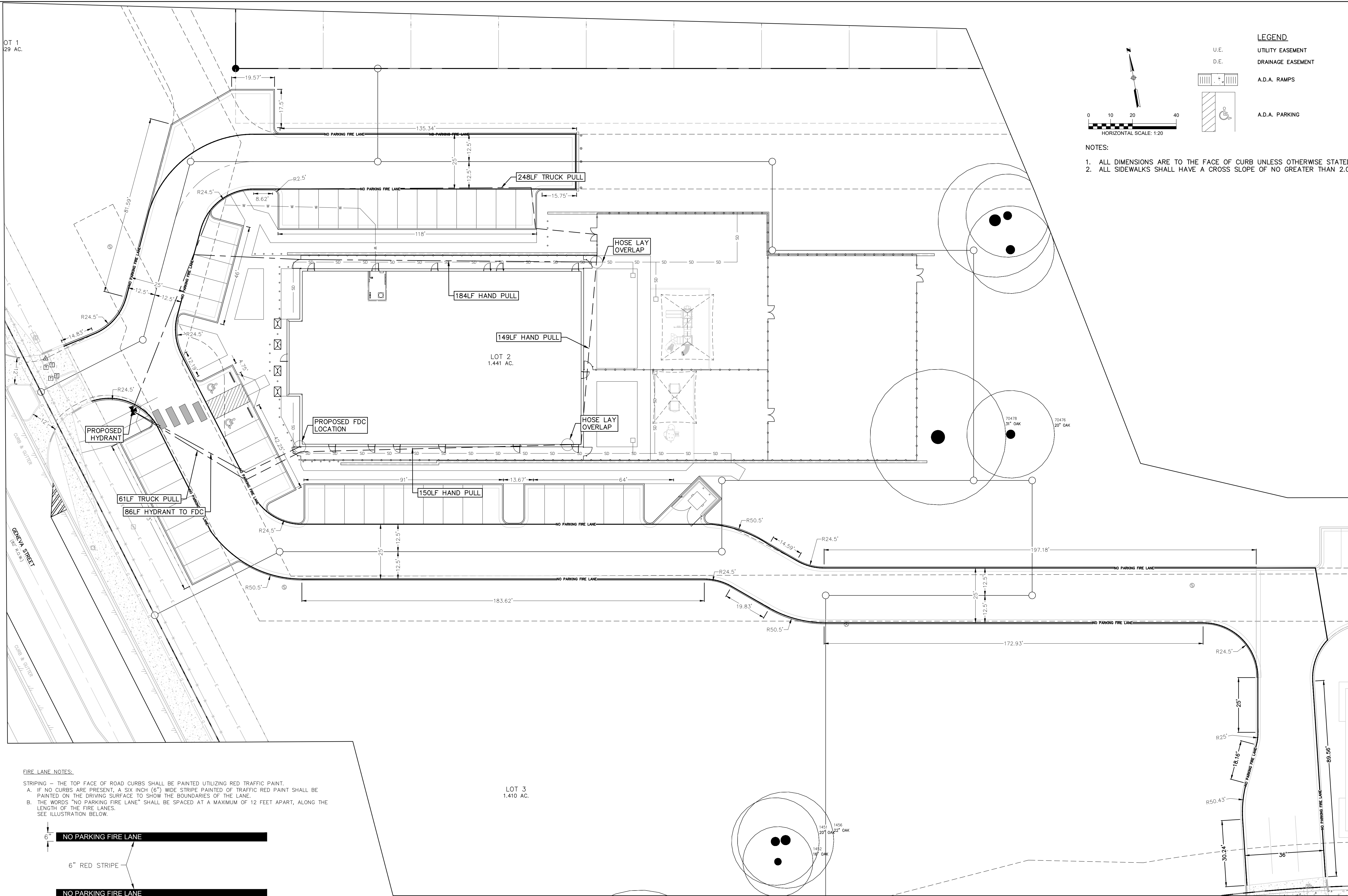


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SHEET
C8.0

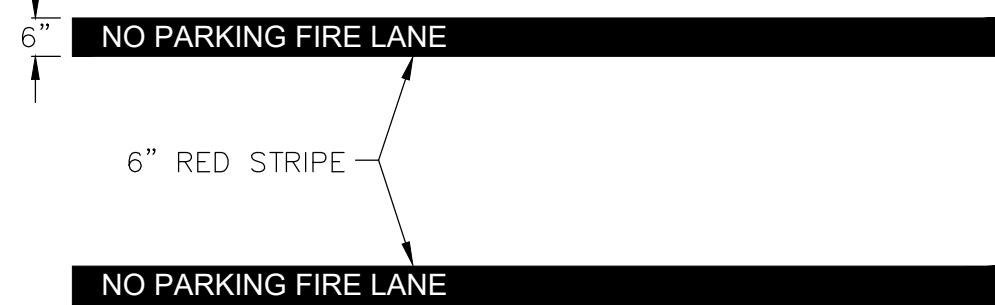
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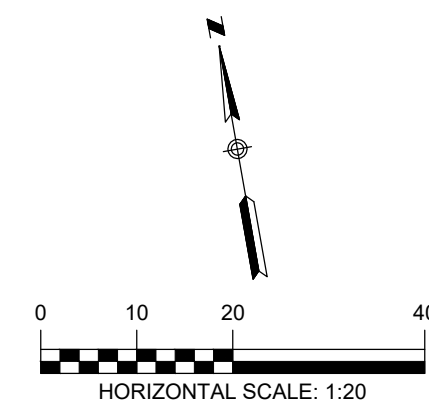


FIRE LANE NOTES:

- STRIPING - THE TOP FACE OF ROAD CURBS SHALL BE PAINTED UTILIZING RED TRAFFIC PAINT.
A. IF NO CURBS ARE PRESENT, A SIX INCH (6") WIDE STRIPE PAINTED OF TRAFFIC RED PAINT SHALL BE PAINTED ON THE DRIVING SURFACE TO SHOW THE BOUNDARIES OF THE LANE.
B. THE WORDS "NO PARKING FIRE LANE" SHALL BE SPACED AT A MAXIMUM OF 12 FEET APART, ALONG THE LENGTH OF THE FIRE LANES.
SEE ILLUSTRATION BELOW.



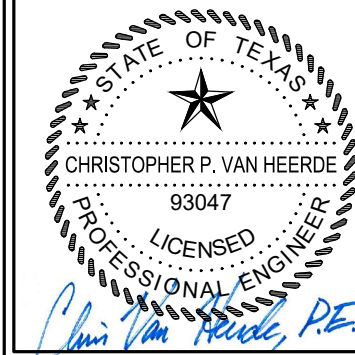
① FIRE LANE DETAIL
N.T.S.



NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE STATED.
2. ALL SIDEWALKS SHALL HAVE A CROSS SLOPE OF NO GREATER THAN 2.0%.

LEGEND	
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
	A.D.A. RAMPs
	A.D.A. PARKING



07/30/2020

FIRE PROTECTION PLAN
VERAMENDI GODDARD SCHOOL
NEIGHBORHOOD RETAIL

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JUNE 2020
DRAWN BY: JAD
DESIGNED BY: JMM
REVIEWED BY: CVH/SWH

HMT PROJECT NO.:
216.028

SHEET
C9.0

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24- HOURS PRIOR TO COMMENCING CONSTRUCTION.

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